

**NOTE: Agenda and Reports may be amended as necessary or as required.**

**Applicants, PLEASE REVIEW YOUR PROPOSAL for accuracy.**

Board Members

|                |                |                 |                  |               |                  |
|----------------|----------------|-----------------|------------------|---------------|------------------|
| <b>Alf</b>     | <b>Beckman</b> | <b>Bloch</b>    | <b>Brown</b>     | <b>Essman</b> | <b>Fairbanks</b> |
|                |                |                 |                  | Weigel        | Jacobs           |
| <b>Fiehrer</b> | <b>Graham</b>  | <b>Palechek</b> | <b>Ripperger</b> | <b>Whalen</b> |                  |
| Demmel         | O'Neill        |                 | Brown            | O'Neill       |                  |

**I. Roll Call:**

**II. Swearing in of Those Providing Testimony to the Board:**

Kathy Dudley, Assistant Law Director

**III. Approval of Meeting Minutes – Written Summary and Audio Recording for these dates:**

A. February 16, 2016

**IV. Properties Seeking COA - New Business**

1. [407 North Third Street \(German Village\) – Rear Addition](#)
2. [339 North Third Street \(German Village\) – Painting](#)
3. [345 North Third Street \(German Village\) – Painting and Remove Wooden Shakes](#)
4. [401 North Third Street \(German Village\) – Painting](#)
5. [311 Village Street \(German Village\) – Painting](#)
6. [21 South C Street \(Rossville-Main Street\) – Painting](#)
7. [100 North B Street \(State Historic Inventory\) –Wood Front Porches, Metal Wrap of Cornices](#)

**V. Miscellaneous/Discussion/On the Radar**

- Building Doctor –April 21<sup>st</sup> for the Free Seminar (Register at [building-doctor.org](http://building-doctor.org))  
*If you want to be considered for a free site visit of your historic house, please specify this in the registration process. Open Slots for Site Visit remain as of this report.*
- Property Inquiries:  
200 Hancock Avenue – Roofing – Emergency COA issued  
350 North Third Street – Painting and Repairs – Like-for-Like COA

**VI. Adjourn**

**VII. Guests:**



AGENDA  
Architectural Design Review Board  
Tuesday, April 19, 2016

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**To:** Architectural Design Review Board  
**From:** Ed Wilson, ADRB  
**Subject:** **AGENDA ITEM # 1**  
**407 North Third Street – Addition To Back Of Existing Building**  
 Hamilton CORE Fund, Applicant  
 Meeting Date: **4/19/2016**  
 Received Application: **4/12/2016**  
**Impacts:** German Village Historic District

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Dear Board Members:

**Synopsis**

A Certificate of Appropriateness application has been submitted for 407 North Third Street to include the following proposal items needing Architectural Design Review Board examination and approval:

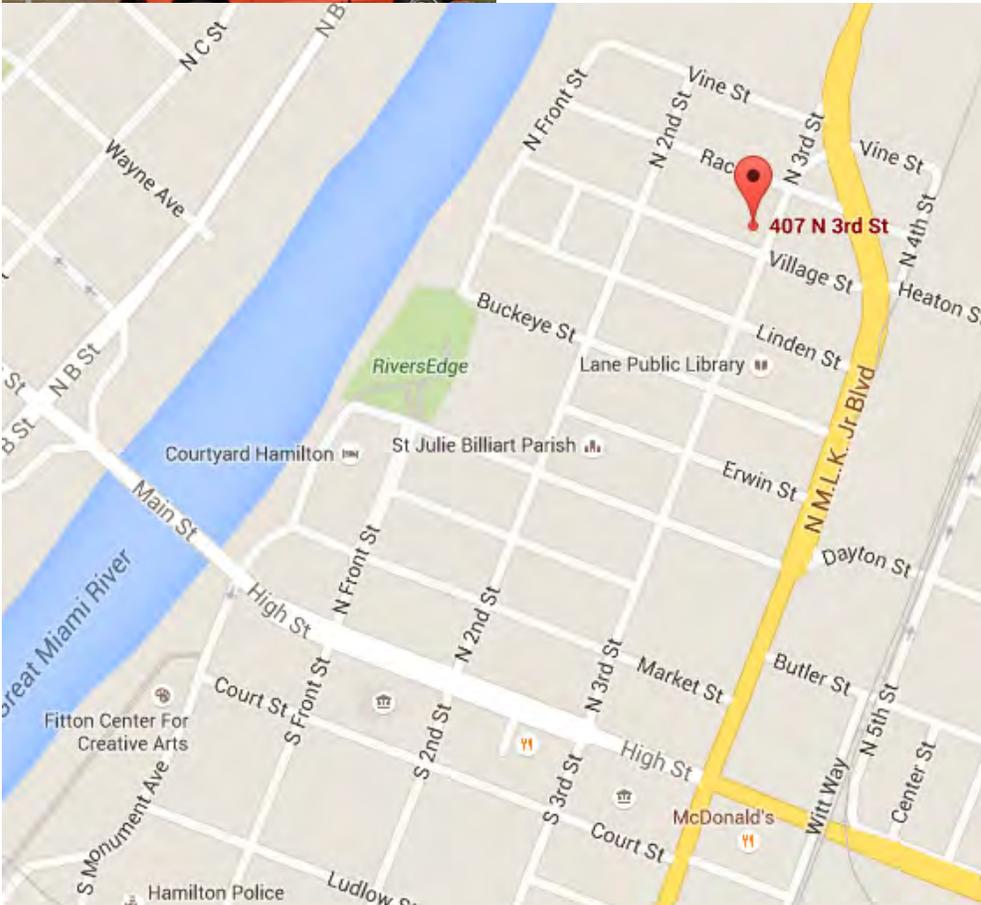
| <b>Proposed Items<br/>Needing ADRB COA Approval</b>                                             | <b>Reason</b>                                                                                 |
|-------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|
| Addition To Back Of Existing Building                                                           | Significant Alteration of Structure<br>Addition to Structure<br>Alteration of Property (Rear) |
| <i>Existing: No Addition is Present</i>                                                         |                                                                                               |
| <i>(Existing Principal Structure: Has Wood Siding)</i><br><i>(Existing Principal Structure:</i> |                                                                                               |

The Proposal is also part of, or due to, one of the following City of Hamilton function:

|                                           |  |
|-------------------------------------------|--|
| ✓ Building Permit (Construction Services) |  |
|-------------------------------------------|--|



**407 North Third Street**  
**Addition To Back Of Existing Building**



## **Introduction:**

The Applicant, Hamilton CORE Fund, has submitted a Certificate of Appropriateness Application for the property of 407 North Third Street. The proposal involves the construction of an addition at the rear of the structure.

The subject property of 407 North Third Street is part of the German Village Historic District and is Zoned “BPD” – Business Planned Development.

## **Background:**

This is part of continued work for the property of 407 North Third Street. The property was reviewed and approved by the Architectural Design Review Board in Fall of 2015 for proposed painting.

## **Supplemental Items**

### **Implications for ADRB Policies & Guidelines; and Other Requirements**

The proposal of rear addition, broaches the subject matter of New Additions to Existing Structures, within the ADRB Policies & Guidelines. Summarily, additions should match the existing structure as best as possible, notably finishing material, styles, and architectural components, in order to closely blend with the structure.

For reference, the ADRB Policies & Guidelines have been included as a separate attachment for the overall April 19<sup>th</sup> ADRB Agenda.

## **State of Ohio Historic Designation**

The property of 407 North Third Street is not part of the State of Ohio Historic Inventory.



## **PROPOSAL**

Construction of a new addition structure, attached to the rear of the existing structure of 407 North Third Street.

This is a two floor addition with a ground footprint area of 206.0878 Square Feet. The addition extends from the existing rear of the structure 13 feet and 5 ½ inches and has a width matching the existing structure at 20 feet, 3 inches.

- Siding – Wood Siding to Match Existing
- Paint – Using Sherwin Williams Paints, Match the Existing Colors approved by the ADRB at the October 20, 2015 meeting.
  - Siding - SW 6146 “Umber”
  - Trim – SW 6140 “Moderate White”
- Roof – To Match the Existing of the Principal Structure.
  - The general Color is “Black”
- Windows – To Match the Existing
  - Per the Applicant, New Windows in Addition Only
- Gutters – To Match the Existing
- Soffit – To Match the Existing

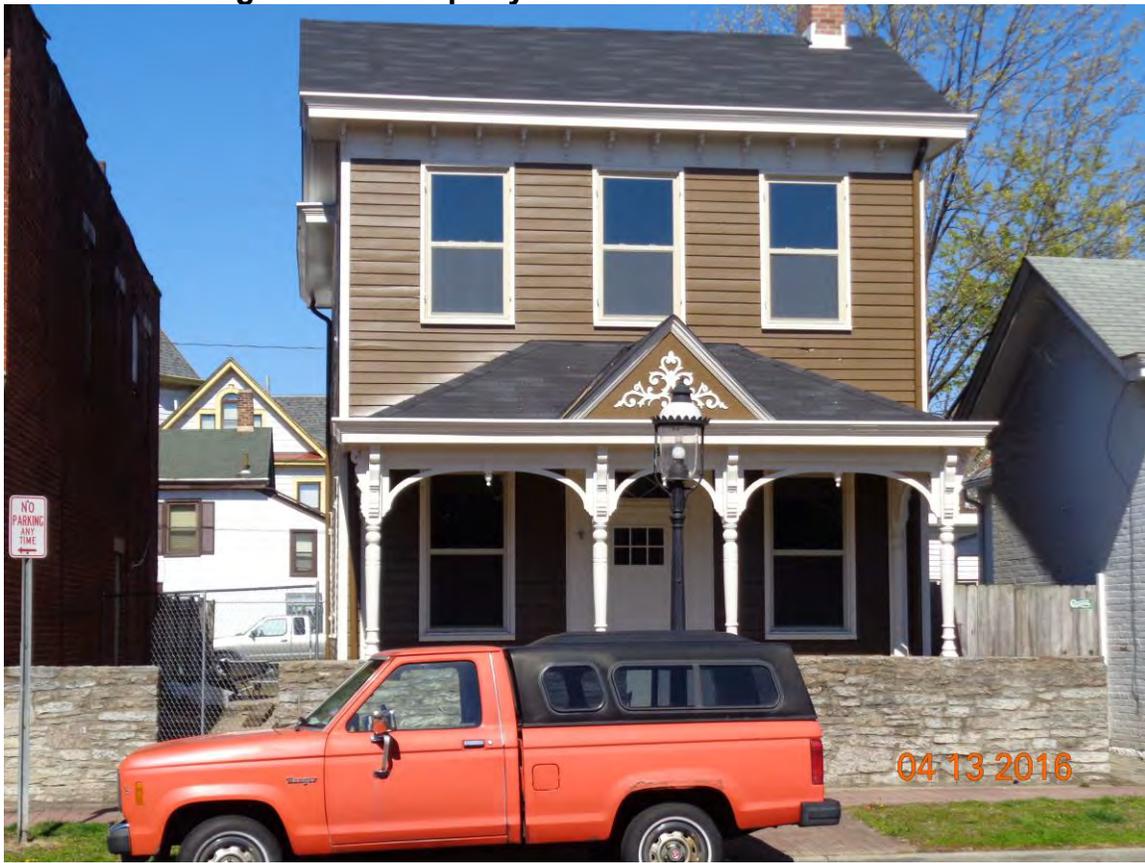
The proposed plan for construction of the new addition has been included in this report as an Exhibit Attachment item.

### **Attachments:**

1. EXHIBIT A: Images of the Property
2. EXHIBIT B: Applicant Provided Copy of COA issued per October 20, 2015 ADRB approval for paint
3. EXHIBIT C: Applicant Submitted Photo/Paint Example
4. EXHIBIT D: Construction Plan Excerpts for New Addition of 407 North Third Street
5. EXHIBIT E: COA Application



**EXHIBIT A: Images of the Property**





04.13.2016

**EXHIBIT B: Applicant Provided Copy of COA issued per October 20, 2015  
ADRB approval for paint**

**CERTIFICATE OF APPROPRIATENESS**

On this 20th day of October 2015, The Hamilton Architectural Design Review Board does hereby issue this Certificate of Appropriateness for the property located at 407 North Third Street. The Architectural Design Review Board has examined plans and approves the changes, and/or improvements to be made to the above referenced structure as listed below:

**Approved:** Painting of Siding as Sherwin Williams SW 6146 - "Umber"  
Painting of Trim as Sherwin Williams SW 6140 - "Moderate White"

**The said improvements and/or structural changes listed above on this Certificate do not constitute, in themselves, waivers from the City of Hamilton building code, zoning code, or other regulations. Plans for changes to, addition to, and/or signage for property will still require review of the Construction Services Department and acquisition of the appropriate permits.**

It is the opinion of this Board that such proposed changes are in conformance with the character of the German Village in the Hamilton Historic District and will not be detrimental to the rehabilitation of this area as prescribed by the City Council of the City of Hamilton, Ohio, in Ordinance Number EOR2005-7-71.

Date of Board approval:  
October 20, 2015



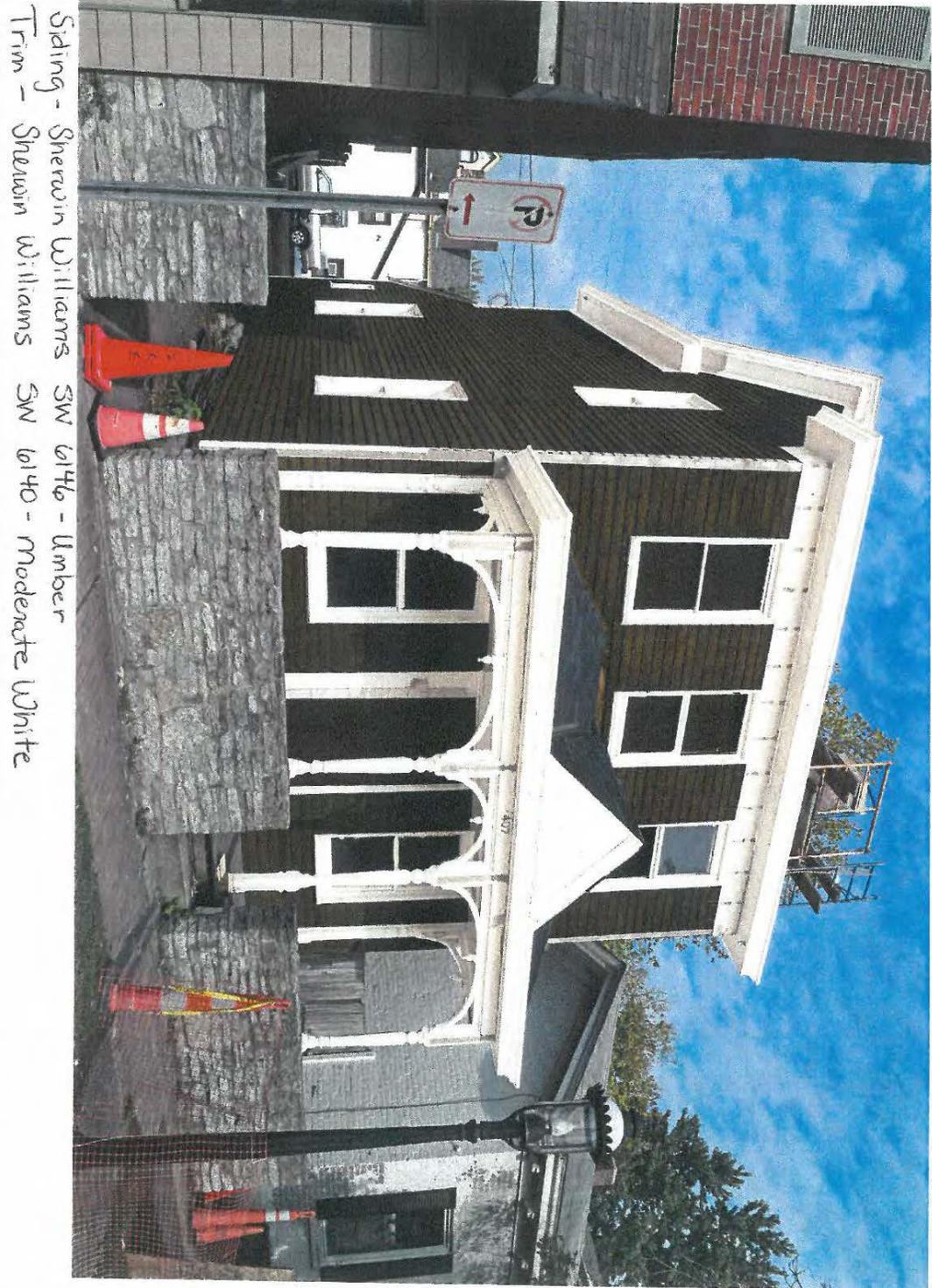
Ed Wilson, Secretary  
Architectural Design Review Board

PLEASE POST IN VISIBLE LOCATION

\*\*Certificate expires 6 months after date of issuance shown on line 1\*\*



**EXHIBIT C: Applicant Submitted Photo/Paint Example**



Siding - Sherwin Williams SW 6146 - Umber  
Trim - Sherwin Williams SW 6140 - Moderate White





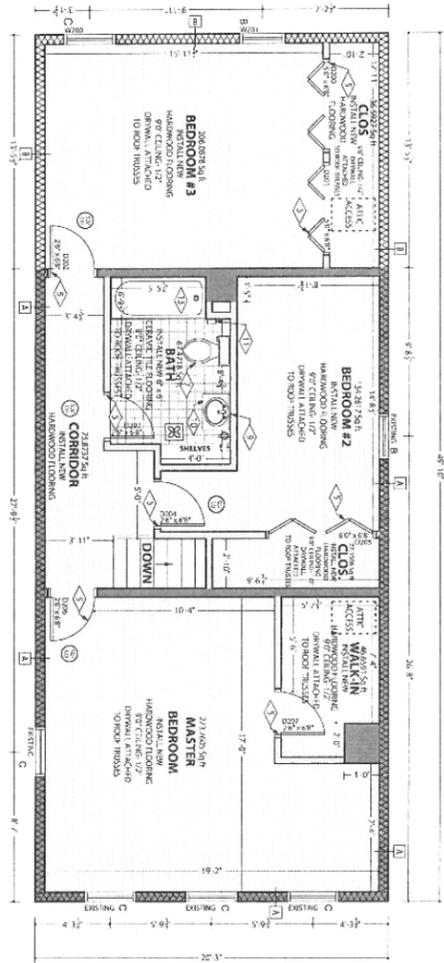
**EXHIBIT D: Construction Plan Excerpts for New Addition of 407 North Third Street**

**INTERIOR & FINISH GENERAL NOTES**

- 1) - EACH SUBCONTRACTOR SHALL BE REQUIRED TO BRUSH CLEAN AFTER WORK IS COMPLETED.
- 2) - NO SMOKING ALLOWED IN RESIDENCE AT ANY TIME. SMOKING MUST TAKE PLACE OUTSIDE MINIMUM 25' FROM EXTERIOR OF DWELLING.
- 3) - IN THE EVENT DAMAGE OCCURS TO ANY WORK, ALL SUBCONTRACTORS ACKNOWLEDGE BY THE COMMENCEMENT OF ANY WORK, AND THROUGH ATTENDANCE ON SITE THE DAY OF SAID DAMAGE, THAT THEY SHALL BE MUTUALLY SEVERALLY BE LIABLE FOR ANY DAMAGE WHEN IT MAY NOT BE ASCERTAINED BY WHOM THE DAMAGE WAS CAUSED.
- 4) - ALL SUBCONTRACTORS SHALL REMOVE FOOTWEAR, OR PLACE APPROVED FOOT PROTECTORS OVER SHOES, FOR ENTRANCE INTO THE RESIDENCE AFTER CARPET HAS BEEN INSTALLED.
- 5) - SUBCONTRACTORS SHALL NOT BE PERMITTED TO USE ANY FACILITIES IN RESIDENCE AND MUST USE AN APPROVED PORT-A-LET OR OTHER BATH AREAS OFFSITE FOR PRIVATE USE.
- 6) - OWNER RESERVES THE RIGHT TO SUBSTITUTE PRODUCTS OF EQUAL OR GREATER VALUE AT ANY TIME.
- 7) - SUBCONTRACTORS MUST CONSULT ALL MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION AND ADHERE TO SAME.
- 8) - ALL SUBCONTRACTORS ACKNOWLEDGE AND ACCEPT ANY PREVIOUS WORK COMPLETED AFFECTING THEIR TRADE PRIOR TO COMMENCING WORK OR MUST INFORM OWNER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- 9) - FINISH SUBCONTRACTORS ACKNOWLEDGE THAT ATTENDANCE WILL BE REQUIRED AT ANY OWNER WALK THROUGH.
- 10) - ALL WORK COMPLETED MUST BE IN COMPLIANCE WITH DRAWINGS, SPECIFICATIONS, AND ALL PERTINENT CODES, COVENANTS AND RESTRICTIONS. IT SHALL BE SUPPLIERS' AND SUBCONTRACTORS' RESPONSIBILITY TO OBTAIN SAME PRIOR TO COMMENCING ANY WORK.

**FLOOR PLAN GENERAL NOTES**

- 1) - ALL CONTRACTORS TO CAREFULLY REVIEW ALL STRUCTURAL DOCUMENTS NOTING THE ALIGNMENT OF STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO PRE-ENGINEERED TRUSSES, WALL STUDS, FLOOR JOISTS, ANCHOR BOLTS AND MISCELLANEOUS STRAPS & PLATES. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER AS SOON AS POSSIBLE FOR REMEDIATION.
- 2) - ALL CONTRACTORS TO FOLLOW ALL DIRECTIONS AND RECOMMENDATIONS FROM MANUFACTURER OF STRUCTURAL SYSTEMS, INCLUDING BUT NOT LIMITED TO THE ABOVE REFERENCED ELEMENTS, SPECIFICALLY ALL NAILING RECOMMENDATIONS, INCLUDING BUT NOT LIMITED TO THE ABOVE REFERENCED ELEMENTS, SPECIFICALLY ALL NAILING RECOMMENDATIONS, INCLUDING NAIL SPECS, PATTERNS AND FASTENING LOCATIONS.
- 3) - ALL CONTRACTORS TO PROPERLY SHORE AND BRACE STRUCTURE AT ALL PHASES OF CONSTRUCTION. ANY FAILURE TO PROPERLY SHORE/BRACE STRUCTURE WILL RESULT IN THE FULL LIABILITY OF DAMAGE TO PROPERTY OR LIFE TO BE PLACED ON THE LIABLE CONTRACTOR.
- 4) - ABSOLUTELY NO DUCTWORK IS PERMITTED IN THE EXTERIOR WALLS. LIMIT PIPING, VENT STACKS, ELECTRICAL BOXES, AND CONDUITS AS MUCH AS POSSIBLE.
- 5) - TREAT SOIL WITH TREATMENT CONTROL PRIOR TO DRAINAGE GRAVEL PLACEMENT.
- 6) - BUILDING FOUNDATIONS ARE DESIGNED BASED ON A SOIL BEARING CAPACITY OF 2,000 PSF. ADDITIONAL ENGINEERING IS REQUIRED IF SOIL BEARING CAPACITY IS LESS THAN 2,000 PSF. FOOTINGS TO BEAR ON STEEP UNDISTURBED SOIL OR ENGINEERED FILL.
- 7) - CONCRETE WORK SHALL HAVE THE FOLLOWING MINIMUM SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS (PSI):
  - A. FOOTINGS - 3,000 PSI
  - B. ALL INTERIOR CONCRETE - 4,000 PSI UNLESS OTHERWISE NOTED
  - C. ALL EXTERIOR CONCRETE - 4,500 PSI UNLESS OTHERWISE NOTED
- 8) - ALL GRAVEL BELOW PROPOSED CONCRETE SLABS AND FOUNDATION WALLS ARE TO BE COMPACTED TO MINIMUM 99% OR AS SPECIFIED BY FOUNDATION WALL SYSTEM MANUFACTURER.
- 9) - 4" DRAIN TILES WITH FILTER SOCK IN DRAINAGE GRAVEL REQUIRED AROUND PERIMETER OF ALL FOUNDATION WALL. 12" FROM OUTSIDE FACE OF FOUNDATION WALL. DAYLIGHT TILES DOWN SLOPE.
- 10) - LOT SHALL BE PROVIDED WITH ADEQUATE POSITIVE DRAINAGE AWAY FROM FOUNDATION WALLS (MINIMUM 6" IN 10')
- 11) - COORDINATE TOP OF SLAB ELEVATIONS WITH EXISTING SITE CONDITIONS AND WITH THE OWNER. TOP OF SLAB INDICATED IS FOR REFERENCE ONLY.
- 12) - VERIFY FINAL SIZE AND LOCATIONS OF ALL BUILDING OPENINGS WITH OWNER AND OPENING SCHEDULES.
- 13) - COORDINATE ALL UNDERGROUND ROUGH-INS WITH PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS. THIS INCLUDES ALL UNDERGROUND SANITARY LINES, WATER LINES, ELECTRICAL LINES, ETC., WHICH ARE NECESSARY TO COMPLETE THIS SCOPE OF WORK. KEEP WATER LINES AND SANITARY LINES A MINIMUM OF 10' 0" LATERAL SEPARATION. SEE P&ID DRAWINGS. COORDINATE WITH ALL DRAWINGS.
- 14) - SEE SECTIONS FOR FURTHER DETAILS.
- 15) - FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK UNLESS OTHERWISE NOTED.
- 16) - DIMENSIONS ON THE PLAN ARE TO FACE OF STUD IN 2-PARTITIONS, AND FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED.
- 17) - SEE DOOR AND WINDOW SCHEDULE FOR OPENING REQUIREMENTS.



**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**WALL TYPES**

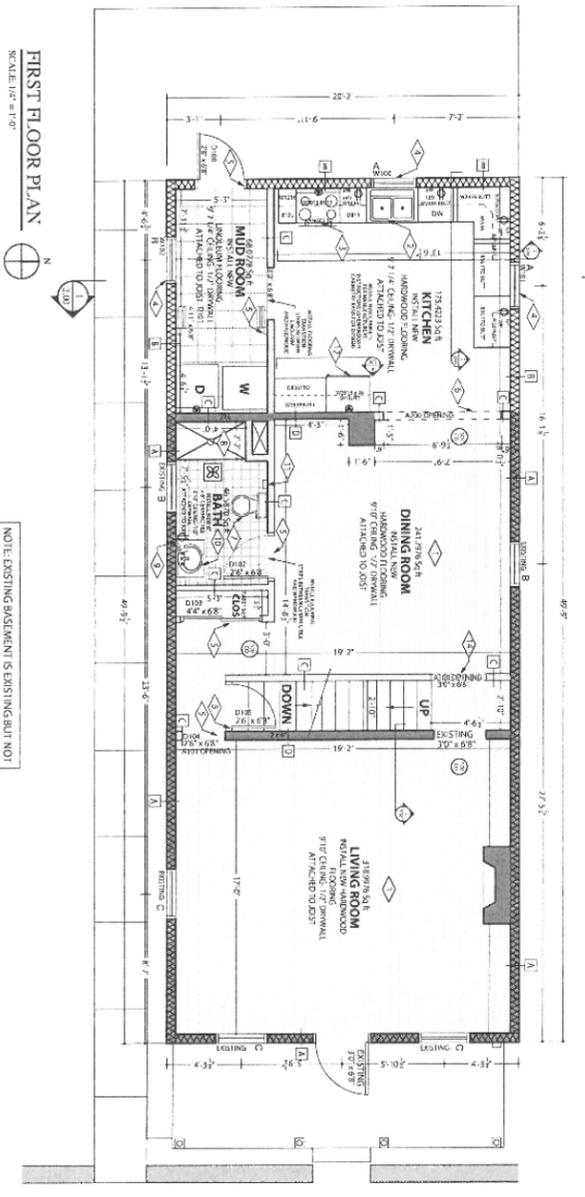
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**FLOOR PLAN SYMBOLS LEGEND:**

- 1. BUILDING SECTION.
- 2. SEE ARCHITECTURAL SHEETS.
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- 74. SEE ARCHITECTURAL SHEETS.
- 75. SEE ARCHITECTURAL SHEETS.
- 76. SEE ARCHITECTURAL SHEETS.
- 77. SEE ARCHITECTURAL SHEETS.
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- 79. SEE ARCHITECTURAL SHEETS.
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- 81. SEE ARCHITECTURAL SHEETS.
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- 83. SEE ARCHITECTURAL SHEETS.
- 84. SEE ARCHITECTURAL SHEETS.
- 85. SEE ARCHITECTURAL SHEETS.
- 86. SEE ARCHITECTURAL SHEETS.
- 87. SEE ARCHITECTURAL SHEETS.
- 88. SEE ARCHITECTURAL SHEETS.
- 89. SEE ARCHITECTURAL SHEETS.
- 90. SEE ARCHITECTURAL SHEETS.
- 91. SEE ARCHITECTURAL SHEETS.
- 92. SEE ARCHITECTURAL SHEETS.
- 93. SEE ARCHITECTURAL SHEETS.
- 94. SEE ARCHITECTURAL SHEETS.
- 95. SEE ARCHITECTURAL SHEETS.
- 96. SEE ARCHITECTURAL SHEETS.
- 97. SEE ARCHITECTURAL SHEETS.
- 98. SEE ARCHITECTURAL SHEETS.
- 99. SEE ARCHITECTURAL SHEETS.
- 100. SEE ARCHITECTURAL SHEETS.

**KEYNOTES**

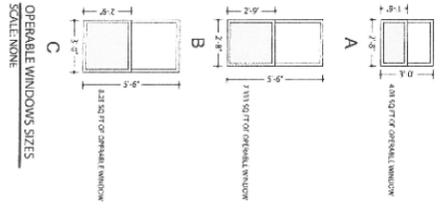
- 1. REPLACE SUB FLOOR WHERE NECESSARY.
- 2. BUILD TRIM CLING FROM WOOD STUDS AND 1/2" DRYWALL.
- 3. SEE NOTES PAGE FOR FINISHING DETAIL.
- 4. INSTALL NEW DOUBLE BASIN STAINLESS STEEL KITCHEN SINK IN BASE CABINETS.
- 5. INSTALL NEW 30" ELECTRIC RANGE.
- 6. INSTALL NEW DOUBLE HUNG WIND. WINDOW (SEE WINDOW SCHEDULE FOR DETAILS).
- 7. INSTALL NEW WOOD DOOR PER DOOR SCHEDULE (SEE NOTES PAGE DETAIL A200).
- 8. INSTALL NEW FLOOR MOUNTED PORCELAIN TANK TOILET.
- 9. INSTALL NEW 48" W x 36" D FIBERGLASS SHOWER STALL.
- 10. INSTALL NEW 24" W x 36" H BATHROOM MIRROR.
- 11. INSTALL NEW 24 INCH VANITY BASE CABINET & SINK BASIN.
- 12. NEW REFRIGERATOR MODEL # W5518 X 24 PD BUTT.
- 13. INSTALL NEW 60" FIBERGLASS SHOWER TUB.
- 14. NEW DOUBLE 2 x 10 HEADER TO SPAN OPENING.
- 15. SEE DETAIL ON NOTES PAGE.



**FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

NOTE: EXISTING BASEMENT IS EXISTING BUT NOT SHOWN ON THIS SCHEDULED WORK. SEE P&ID DRAWING FOR BASEMENT PER MPA 27 AND TIED WITH OTHER SDC'S IN DWELLING.



**OPERABLE WINDOWS SIZES**

EXISTING/DEMO FLOOR PLANS  
DATE: MARCH 15, 2016  
COMM. NO.  
SHEET NO.  
**2.00**

**RENOVATION OF SINGLE FAMILY DWELLING**  
407 N THIRD STREET  
HAMILTON, OHIO 45011



Michael D. Gray, Owner, License #411830  
Professional Seal: 12.1.16



REGISTERED ARCHITECT

STATE OF OHIO

Michael D. Gray, License #411830

Professional Seal: 12.1.16





**EXHIBIT E: COA Application**



**Community Development**  
345 High Street, Suite 370  
Hamilton, Ohio 45011

A160905  
A160950

**Architectural Design Review Board**

Phone: 513-785-7350

Fax: 513-785-7349

Email: hamiltonhistoric@ci.hamilton.oh.us

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

Exterior changes made to buildings, outbuildings, landscapes, or other exterior features located within one of the City of Hamilton's Historic Areas or properties individually listed by Ordinance shall not be permitted unless and until the Architectural Design Review Board issues a Certificate of Appropriateness for the action. The ADRB will review the plans, monitor the work and administer the Architectural Conservation/Historic District section (Section 1126.00) of the Hamilton City Zoning Ordinance.

**APPLICANTS ARE HIGHLY ENCOURAGED TO APPEAR BEFORE THE BOARD TO SUPPORT THEIR APPLICATION.**  
Please see Page 4 for the Meeting Dates and Application Deadlines.

**A nonrefundable twenty-five dollar (\$25.00) fee for Residential property or fifty dollar (\$50.00) fee for Commercial property is due when a Certificate of Appropriateness application is submitted.**

Property Address: 407 N Third  
 Applicant Name: Hamilton CORE Fund  
 Applicant Mailing Address: 236 High Street, Hamilton, OH 45011  
 Owner/s Name: Hamilton CORE Fund  
 Owner Mailing Address: 236 High Street, Hamilton, OH 45011  
 Daytime Contact Phone: (513) 275-1740 Email: mike@cdalliance.net  
 Contractor Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Is this work part of another City of Hamilton function?

Health Department  Building Permit  NDD Work  Public Works  Other: \_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

Please **specify** the exact location on the structure, the nature of the work, the materials to be used, and the existing historic features to be repaired or replaced. Landscape, fence, and out buildings, etc., should include a sketch of the property showing the proposed location. In order to make an appropriate, fair and timely decision the ADRB may request additional detailed information. This may include plans, sketches, photographs, and information about the materials to be used, including brochures, catalog information, and paint chips.

**Please provide as much detail as possible to expedite the review process.**

Work Proposed: (Describe type of work, existing conditions, and methods to be used, materials proposed)

Addition to back of existing building

**Any proposal CAN AND WILL be refused if proper evidence is lacking or deemed insufficient by Staff or the ADRB.**

Applicant Signature:

Date:

4/2/16

See Next Page



**CHECK ALL THAT APPLY & FILL IN THE CORRESPONDING INFORMATION**

Paint  Sample Provided  
Appearance of Color: Match existing colors approved  
Color Name & Manufacturer: Shawin Williams SW 6146 Umber - siding Oct 20, 2015  
Location (body, window trim, specific trim, accent): SW 6140 Moderate White - trim

Siding  Sample Provided Wood siding to match existing  
Existing Siding (style, material, color, location): \_\_\_\_\_  
Proposed Siding (style, material, color, location): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Proposed Size: \_\_\_\_\_

**NOTE: If proposing vinyl or aluminum siding, per ADRB Guidelines, applicant must be provided a copy of Preservation Brief 8, concerning siding. It is HIGHLY recommended that applicant provide pictures and document extensive reasons why vinyl or non-historic siding is being proposed.**

Roof \*Please note, Roofing requires a building permit\* Roof to match existing  
Existing Roof (material, style, color): \_\_\_\_\_  
Proposed Roof (material, style, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Location: \_\_\_\_\_

Windows / Door New Windows to match existing - New windows in addition only  
Existing Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Proposed Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Type (if applicable): \_\_\_\_\_  
**NOTE: Per ADRB Guidelines, it is recommended that proposed windows are the same size as the original window opening. Covering of windows is highly discouraged. For vinyl or other non-historic windows, it is recommended to document existing windows, including the condition and reasons why original windows should be replaced.**

Fence  
Existing Fence (type, material, color): \_\_\_\_\_  
Proposed Fence (type, material, color, location, course): \_\_\_\_\_

Gutters match existing  
Existing Gutter (material, style, location, color): \_\_\_\_\_  
Proposed Gutter (material, style, location, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

Soffit match existing  
Existing Soffit (style, material, location, color): \_\_\_\_\_  
Proposed Soffit (style, material, location, color): \_\_\_\_\_





**To:** Architectural Design Review Board  
**From:** Heather Hodges, ADRB  
**Subject:** **AGENDA ITEM # 2**  
**339 North Third Street – Painting**  
 William Wilks, Applicant

Meeting Date: **4/19/2016**

Received Application: **4/12/2016**

**Impacts:** German Village Historic District

Dear Board Members:

**Synopsis**

A Certificate of Appropriateness application has been submitted for 339 North Third Street to include the following proposal items needing Architectural Design Review Board examination and approval:

| <b>Proposed Items<br/>Needing ADRB COA Approval</b> | <b>Reason</b>                 |
|-----------------------------------------------------|-------------------------------|
| Painting & Exterior Repairs<br>(Maintenance)        | Change of Exterior Appearance |
| <b>Existing:</b>                                    |                               |

The Proposal is also part of, or due to, one of the following City of Hamilton function:

|                 |                                                                            |
|-----------------|----------------------------------------------------------------------------|
| Health Division | Health Division citation for Painting and Exterior Repairs dated 1/30/2015 |
|-----------------|----------------------------------------------------------------------------|



**339 North Third Street**  
**Painting & Exterior Repairs (Maintenance)**



## **Introduction:**

The Applicant, William Wilks, has submitted a Certificate of Appropriateness Application for the property of 339 North Third Street. The proposal involves painting and exterior repairs (a maintenance item).

The subject property of 339 North Third Street is part of the German Village Historic District and is Zoned BPD – Business Planned Development.

## **Background:**

The property at 339 North Third Street was cited by the Health Division for painting and exterior maintenance in January 2015. The deadline for correction was June 4, 2015.

## **Supplemental Items**

### **Implications for ADRB Policies & Guidelines; and Other Requirements**

There are no significant implications for the ADRB Policies & Guidelines concerning this project proposal.

### **State of Ohio Historic Designation**

This property of 339 North Third Street is not part of the State of Ohio Historic Inventory.



## **PROPOSAL**

- Painting of the exterior of the building:
  - Shutters & Upper woodwork along roofline (very top, the framed box detail underneath and bottom line of the woodwork) – Proposed color is Black Magic (PPG1001-7)
  - Window Frames & Woodwork along roofline (underneath of the overhang around and inside the box detail) – Proposed color is Crepe (PPG1094-4)
  - Doors, Corbels & Flower Boxes – Proposed color is Baked Bean (PPG1066-7)

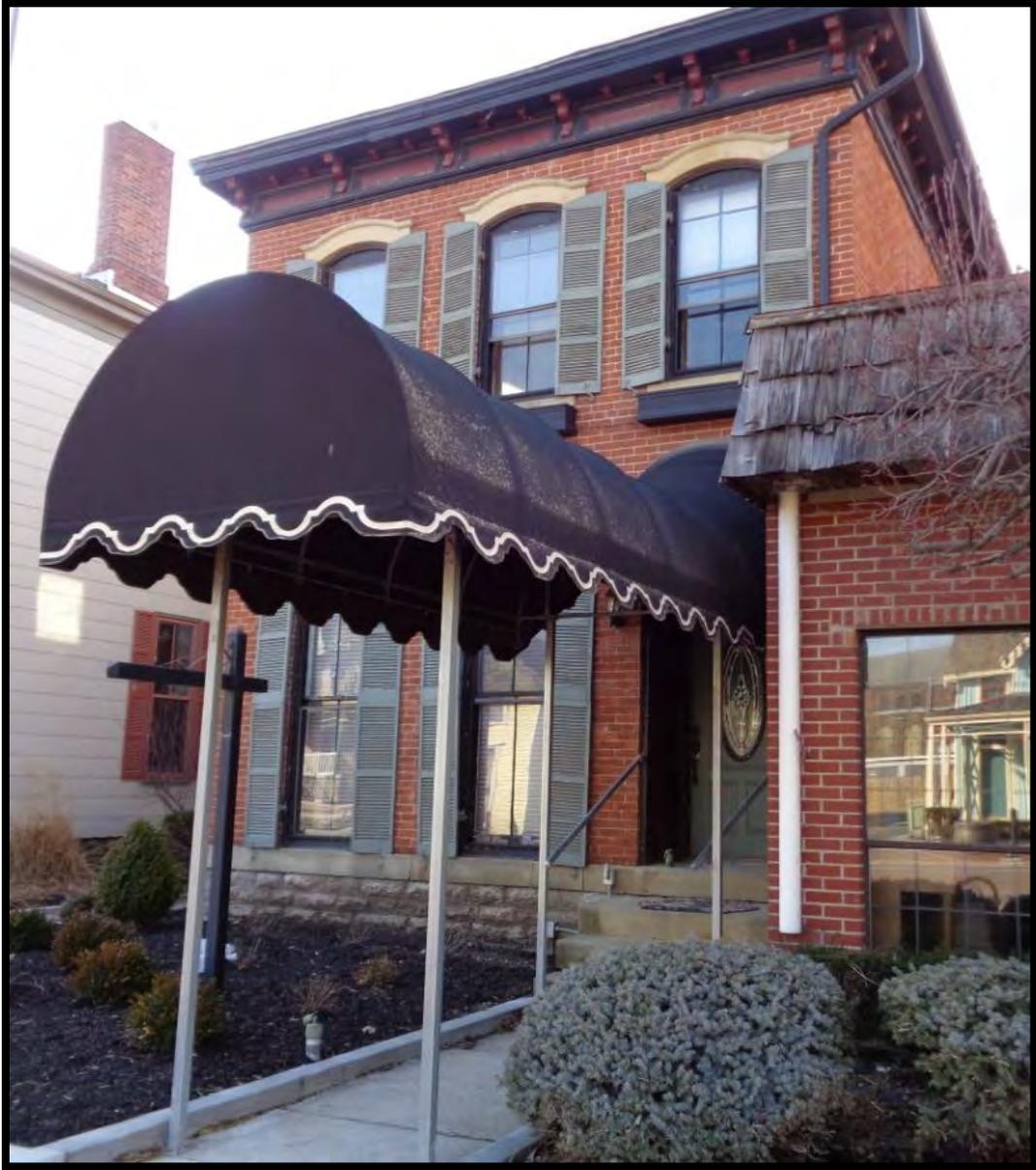
### **Attachments:**

1. EXHIBIT A: Images of the Property
2. EXHIBIT B: COA Application
3. EXHIBIT C: Applicant Provided Color Swatches and Description
4. EXHIBIT D: Applicant Provided Copy of Health Citation



**EXHIBIT A: Images of the Property**





**EXHIBIT B: COA Application**



**Community Development**  
345 High Street, Suite 370  
Hamilton, Ohio 45011

Permit A161051  
Approval A161052

**Architectural Design Review Board**

Phone: 513-785-7350

Fax: 513-785-7349

Email: hamiltonhistoric@ci.hamilton.oh.us

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

Exterior changes made to buildings, outbuildings, landscapes, or other exterior features located within one of the City of Hamilton's Historic Areas or properties individually listed by Ordinance shall not be permitted unless and until the Architectural Design Review Board issues a Certificate of Appropriateness for the action. The ADRB will review the plans, monitor the work and administer the Architectural Conservation/Historic District section (Section 1126.00) of the Hamilton City Zoning Ordinance.

**APPLICANTS ARE HIGHLY ENCOURAGED TO APPEAR BEFORE THE BOARD TO SUPPORT THEIR APPLICATION.**  
Contact the Planning Department for the location and time of the ADRB Meeting.

**A nonrefundable twenty-five dollar (\$25.00) fee for Residential property or fifty dollar (\$50.00) fee for Commercial property is due when a Certificate of Appropriateness application is submitted.**

Property Address: 339 N Third St, Hamilton OH 45011  
Owner/s Name: William C. Wilks  
Owner Mailing Address: 319 N Second St, Hamilton, OH 45011  
Daytime Contact Phone: 513-828-9000 Email: bill@wilksinsurance.com  
Contractor Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Is this work part of another City of Hamilton function?

Health Department  Building Permit  NDD Work  Public Works  Other: \_\_\_\_\_

Copy of Certificate to: \_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

Please **specify** the exact location on the structure, the nature of the work, the materials to be used, and the existing historic features to be repaired or replaced. Landscape, fence, and out buildings, etc., should include a sketch of the property showing the proposed location. In order to make an appropriate, fair and timely decision the ADRB may request additional detailed information. This may include plans, sketches, photographs, and information about the materials to be used, including brochures, catalog information, and paint chips.

**Please provide as much detail as possible to expedite the review process.**

Work Proposed: (Describe type of work, existing conditions, and methods to be used, materials proposed)

Necessary Exterior Repairs + Painting  
Attached: Health Dept. Requirements

**Any proposal CAN AND WILL be refused if proper evidence is lacking or deemed insufficient by Staff or the ADRB.**

Applicant Signature: [Signature] Date: 4-11-16

See Next Page

Page 1 of 3



## EXHIBIT C: Applicant Provided Color Swatches and Description

339 North 3rd Street:

Shutters - Black Magic PPG1001-7

Window Frames - Crepe PPG1094 -4

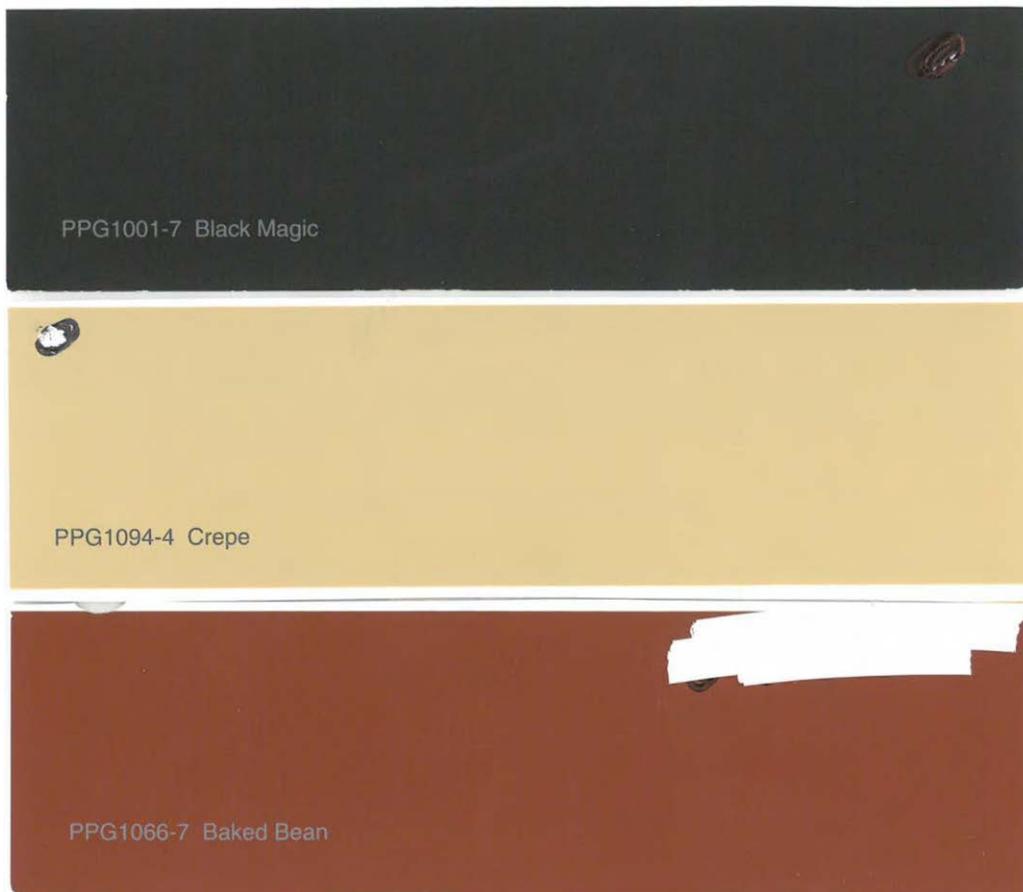
Doors - Baked Bean PPG1066-7

Flower Boxes - Baked Bean

Upper woodwork along the roof - Black Magic (along the roof line -  
- very top, the framed box detail underneath and the bottom line

Crepe - (the underneath of the overhang all the way around and inside the box detail)

Baked Bean - (Corbles only)



## EXHIBIT D: Applicant Provided Copy of Health Citation



Founded 1791

339 NB  
by 6-4  
Asia's

### Department of Public Health

City of Hamilton, Ohio  
Hamilton Municipal Building  
345 High Street, Hamilton, Ohio 45011  
Telephone 513 785-7080  
www.hamilton-city.org

01/30/2015

William Wilks Tr  
319 N Second St  
Hamilton, OH 45011

Dear William Wilks Tr:

Location of property 339 N THIRD ST  
Complaint ID # 201500529  
LOT # 192 S30 OF N100 PARCEL P64310100024

An inspection of your premises indicates a violation of the following City Ordinance(s). You are hereby ordered to correct these violations within the specified time. TIME LIMITATION : 120 days by 6/4/2015

If you can not meet this required time frame, please contact the sanitarian listed below to submit a written compliance time frame for review.

Paint flaking shutters, window boxes, window frames, fascia trim, gutters; repair damaged soffit; repair holes in concrete steps on south side of building; paint flaking metal poles in parking lot.

#### 1779.07 SPECIFIC MAINTENANCE REQUIREMENTS.

##### (A) Exterior Building Maintenance.

(4) Exterior walls. All exterior walls shall be free from holes, breaks, loose or rotting materials, and shall be weatherproofed and properly surface coated where required to prevent deterioration. The exterior of every building and structure shall be free of obsolete hardware and fixtures. Any exterior painted surfaces which are altered by repairs or structural alterations shall be repainted.

PRIOR TO REMEDIATING THIS ORDINANCE, PLEASE VIEW THE EPA WEBSITE FOR A BRIEF BROCHURE ON HOW TO PROTECT YOUR FAMILY FROM LEAD IN YOUR HOME.

<http://www.epa.gov/lead/pubs/leadpdfs.pdf>

IF YOU DO NOT HAVE ACCESS TO THE INTERNET, COME INTO THE HEALTH DEPARTMENT FOR A FREE BROCHURE: 345 HIGH ST SUITE 330, HAMILTON, OHIO 45011.

#### 1779.08 GROUNDS.

##### (A) Exterior Property Areas.

(4) Accessory structures. Structures and equipment, including curbs, guardrails, signs, light fixtures and poles, garages, fences and walls, shall be maintained in good repair. Structures and equipment which are deteriorated or obsolete shall be removed or replaced.

#### 1779.08 GROUNDS.

##### (A) Exterior Property Areas.

(6) Stairs. All stairs and handrails shall be structurally sound and capable of supporting normally imposed loads.

Sec. 1779.15: Inspection, Enforcement and Appeal.





**To:** Architectural Design Review Board  
**From:** Heather Hodges, ADRB  
**Subject:** **AGENDA ITEM # 3**  
**345 North Third Street – Paint & Removal of Wood Shakes**  
 William Wilks, Applicant  
 Meeting Date: **4/19/2016**  
 Received Application: **4/12/2016**  
**Impacts:** German Village Historic District

---

Dear Board Members:

**Synopsis**

A Certificate of Appropriateness application has been submitted for 345 North Third Street to include the following proposal items needing Architectural Design Review Board examination and approval:

| <b>Proposed Items<br/>Needing ADRB COA Approval</b>     | <b>Reason</b>                                                |
|---------------------------------------------------------|--------------------------------------------------------------|
| Painting                                                | Change of Exterior Appearance                                |
| Removal of Wood Shakes – Replace with Wood Shingle Wrap | Change of Exterior Appearance<br>Change of Exterior Material |
| <b>Existing:</b>                                        | Tan Shutters, Cream Stucco, Shake shingles (See photos)      |

The Proposal is also part of, or due to, one of the following City of Hamilton function:

|                 |                                                      |
|-----------------|------------------------------------------------------|
| Health Division | Citation from Health Division dated January 29, 2015 |
|-----------------|------------------------------------------------------|



**345 North Third Street**  
**Painting & Removal/Replacement of Wood Shake Shingles**



## **Introduction:**

The Applicant, William Wilks, has submitted a Certificate of Appropriateness Application for the property of 345 North Third Street. The proposal involves painting and the removal of wood shake shingles.

The subject property of 345 North Third Street is part of the German Village Historic District and is Zoned BPD – Business Planned Development.

## **Background:**

The property received a citation from the City of Hamilton Health Division for Exterior Maintenance including paint.

## **Supplemental Items**

### **Implications for ADRB Policies & Guidelines; and Other Requirements**

There are no significant implications for the ADRB Policies & Guidelines concerning this project proposal.

### **State of Ohio Historic Designation**

This property of 345 North Third Street is not part of the State of Ohio Historic Inventory.



## **PROPOSAL**

- Removal of wood shake shingles and replace with wood shingle wrap. No further information provided by the applicant.
- Painting of the Exterior of the Building in Porter Paints (swatches supplied)
  - Golden Granola (PPG1094-5) – Shutters, Porch Columns, Accent Boards on the stucco portion of the building
  - Maple Syrup (PPG1084-7) – Windows (top and bottom detail), Wood Shingle wrap, Doors
  - Loofah (PPG1094-2) – Windows (interior and exterior frames) and Stucco

### **Attachments:**

1. EXHIBIT A: Images of the Property
2. EXHIBIT B: COA Application
3. EXHIBIT C: Applicant Provided Paint Samples
4. EXHIBIT D: Applicant Provided Copy of Health Citation



**EXHIBIT A: Images of the Property**



**EXHIBIT B: COA Application**



**Community Development**  
345 High Street, Suite 370  
Hamilton, Ohio 45011

*Permit A161053  
Approval A161054*

**Architectural Design Review Board**

Phone: 513-785-7350

Fax: 513-785-7349

Email: hamiltonhistoric@ci.hamilton.oh.us

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

Exterior changes made to buildings, outbuildings, landscapes, or other exterior features located within one of the City of Hamilton's Historic Areas or properties individually listed by Ordinance shall not be permitted unless and until the Architectural Design Review Board issues a Certificate of Appropriateness for the action. The ADRB will review the plans, monitor the work and administer the Architectural Conservation/Historic District section (Section 1126.00) of the Hamilton City Zoning Ordinance.

**APPLICANTS ARE HIGHLY ENCOURAGED TO APPEAR BEFORE THE BOARD TO SUPPORT THEIR APPLICATION.**  
Contact the Planning Department for the location and time of the ADRB Meeting.

**A nonrefundable twenty-five dollar (\$25.00) fee for Residential property or fifty dollar (\$50.00) fee for Commercial property is due when a Certificate of Appropriateness application is submitted.**

Property Address: 345 N Third St, Hamilton OH 45011  
 Owner/s Name: William C. Wilks  
 Owner Mailing Address: 319 N Second St, Hamilton OH 45011  
 Daytime Contact Phone: 513-828-9000 Email: bill@wilksinsurance.com  
 Contractor Phone: \_\_\_\_\_ Email: \_\_\_\_\_  
 Is this work part of another City of Hamilton function?  
 Health Department    Building Permit    NDD Work    Public Works    Other: \_\_\_\_\_  
 Copy of Certificate to: \_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

Please **specify** the exact location on the structure, the nature of the work, the materials to be used, and the existing historic features to be repaired or replaced. Landscape, fence, and out buildings, etc., should include a sketch of the property showing the proposed location. In order to make an appropriate, fair and timely decision the ADRB may request additional detailed information. This may include plans, sketches, photographs, and information about the materials to be used, including brochures, catalog information, and paint chips.

**Please provide as much detail as possible to expedite the review process.**

Work Proposed: (Describe type of work, existing conditions, and methods to be used, materials proposed)

Necessary Exterior Repairs + Painting  
Attached: Health Dept. Requirements

**Any proposal CAN AND WILL be refused if proper evidence is lacking or deemed insufficient by Staff or the ADRB.**

Applicant Signature: X [Signature] Date: 4-11-16

See Next Page



Porter Paint - Attached

CHECK ALL THAT APPLY & FILL IN THE CORRESPONDING INFORMATION

Paint  Sample Provided  
Appearance of Color: Shutters: Golden Granola + Birch Columns  
Color Name & Manufacturer: \_\_\_\_\_  
Location (body, window trim, specific trim, accent): \_\_\_\_\_

Siding  Sample Provided  
Existing Siding (style, material, color, location): N/A - Brick Bldg  
Proposed Siding (style, material, color, location): Stucco Sections: Loofah - Beards: Golden Granola  
Manufacturer: \_\_\_\_\_ Proposed Size: \_\_\_\_\_

**NOTE: If proposing vinyl or aluminum siding, per ADRB Guidelines, applicant must be provided a copy of Preservation Brief 8, concerning siding. It is HIGHLY recommended that applicant provide pictures and document extensive reasons why vinyl or non-historic siding is being proposed.**

Roof \*Please note, Roofing requires a building permit\*  
Existing Roof (material, style, color): \_\_\_\_\_  
Proposed Roof (material, style, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Location: \_\_\_\_\_

Windows / Door Interior Frame & panes: Loofah  
Top & Bottom detail: Maple Syrup  
Existing Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Existing Proposed Windows/Door (style, material, size, color, location): Maple Syrup  
Manufacturer: \_\_\_\_\_ Type (if applicable): \_\_\_\_\_

**NOTE: Per ADRB Guidelines, it is recommended that proposed windows are the same size as the original window opening. Covering of windows is highly discouraged. For vinyl or other non-historic windows, it is recommended to document existing windows, including the condition and reasons why original windows should be replaced.**

Fence  
Existing Fence (type, material, color): \_\_\_\_\_  
Proposed Fence (type, material, color, location, course): \_\_\_\_\_

Gutters  
Existing Gutter (material, style, location, color): \_\_\_\_\_  
Proposed Gutter (material, style, location, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

Soffit  
Existing Soffit (style, material, location, color): \_\_\_\_\_  
Proposed Soffit (style, material, location, color): \_\_\_\_\_



## EXHIBIT C: Applicant Provided Paint Samples



### 345 North Third:

Shutters - Golden Granola PPG-1094-5

Windows - Top and bottom detail - Maple Syrup PPG1084-7

Windows - Interior frames and panes - Loofah PPG1094 -2

Columns Porch - Golden Granola

Stucco Sections - Loofah on the Stucco and Golden Granola on the boards

Wood Shingle wrap to replace the shakes - Maple Syrup

Doors - Maple Syrup



## EXHIBIT D: Applicant Provided Copy of Health Citation



Founded 1791

345 N  
-BAR-

### Department of Public Health

City of Hamilton, Ohio  
Hamilton Municipal Building  
345 High Street, Hamilton, Ohio 45011  
Telephone 513 785-7080  
www.hamilton-city.org

01/29/2015

William Wilks Tr  
319 N Second St  
Hamilton, OH 45011

Dear William Wilks Tr:

Location of property 345 N THIRD ST  
Complaint ID # 201500531  
LOT # 192 N 70 PARCEL P6431010000023

An inspection of your premises indicates a violation of the following City Ordinance(s). You are hereby ordered to correct these violations within the specified time. TIME LIMITATION : 120 days by 6/4/2015

If you can not meet this required time frame, please contact the sanitarian listed below to submit a written compliance time frame for review.

Paint flaking shutters, drive thru overhang, soffits, fascia trim, gutters, walls, window frames and door frames; repair damaged soffits, hole in wood shingle, damaged fascia trim; paint flaking metal poles in parking lot.

#### 1779.07 SPECIFIC MAINTENANCE REQUIREMENTS.

##### (A) Exterior Building Maintenance.

(4) Exterior walls. All exterior walls shall be free from holes, breaks, loose or rotting materials, and shall be weatherproofed and properly surface coated where required to prevent deterioration. The exterior of every building and structure shall be free of obsolete hardware and fixtures. Any exterior painted surfaces which are altered by repairs or structural alterations shall be repainted.

PRIOR TO REMEDIATING THIS ORDINANCE, PLEASE VIEW THE EPA WEBSITE FOR A BRIEF BROCHURE ON HOW TO PROTECT YOUR FAMILY FROM LEAD IN YOUR HOME.

<http://www.epa.gov/lead/pubs/leadpdf.pdf>

IF YOU DO NOT HAVE ACCESS TO THE INTERNET, COME INTO THE HEALTH DEPARTMENT FOR A FREE BROCHURE: 345 HIGH ST SUITE 330, HAMILTON, OHIO 45011.

#### 1779.07 SPECIFIC MAINTENANCE REQUIREMENTS.

##### (A) Exterior Building Maintenance.

(6) Overhang extensions. All canopies, marquees, signs, metal awnings, stairways, fire escapes, sandpiper exhaust ducts and similar overhang extensions shall be maintained in good repair and be properly anchored so as to be kept in a safe and sound condition. When required, all exposed surfaces of metal or wood shall be protected from the elements and against decay or rust by periodic application of weather coating materials, such as paint or similar surface treatment.

#### 1779.08 GROUNDS.

##### (A) Exterior Property Areas.

(4) Accessory structures. Structures and equipment, including curbs, guardrails, signs, light fixtures and poles, garages, fences and walls, shall be maintained in good repair. Structures and equipment which are deteriorated or obsolete shall be removed or replaced.

#### Sec. 1779.15: Inspection, Enforcement and Appeal.

(a) The Commissioner shall annually inspect the exterior of all non-residential properties, and shall conduct such additional inspections as may be deemed necessary.

(1) Such additional inspections may include, but not be limited to, the following:





**To:** Architectural Design Review Board  
**From:** Heather Hodges, ADRB  
**Subject:** **AGENDA ITEM # 4**  
**401 North Third Street – Painting**  
William Wilks, Applicant

Meeting Date: **4/19/2016**

*Received Application:* **4/12/2016**

**Impacts:** German Village Historic District

---

Dear Board Members:

## **Synopsis**

A Certificate of Appropriateness application has been submitted for 401 North Third Street to include the following proposal items needing Architectural Design Review Board examination and approval:

| <b>Proposed Items<br/>Needing ADRB COA Approval</b> | <b>Reason</b>                                                                      |
|-----------------------------------------------------|------------------------------------------------------------------------------------|
| Painting                                            | Change of Exterior Appearance                                                      |
| <b><i>Existing:</i></b>                             | Light green shutters, doors. Beige wood siding, windows, flower boxes. See photos. |

The Proposal is also part of, or due to, one of the following City of Hamilton function:

|                                     |                                                 |
|-------------------------------------|-------------------------------------------------|
| Health Division (Health Department) | Health Division citation from January 29, 2015. |
|-------------------------------------|-------------------------------------------------|



## 401 North Third Street Painting



## **Introduction:**

The Applicant, William Wilks, has submitted a Certificate of Appropriateness Application for the property of 401 North Third Street. The proposal involves painting of the property.

The subject property of 401 North Third Street is part of the German Village Historic District and is Zoned BPD – Business Planned Development.

## **Background:**

This property received a citation from the Health Division in January 2015 for peeling paint.

## **Supplemental Items**

### **Implications for ADRB Policies & Guidelines; and Other Requirements**

There are no significant implications for the ADRB Policies & Guidelines concerning this project proposal.

## **State of Ohio Historic Designation**

This property of 401 North Third Street is not part of the State of Ohio Historic Inventory.



## **PROPOSAL**

- Painting of the property in Porter Paints:
  - Bark (PPG1007-7) – Shutters, details of Doors
  - Almond Cream (PPG1086-3) – Inside Window Frames, Detail on the Wood Siding, Upper woodwork along roof (underneath the overhang)
  - Coffee With Cream (PPG1086-6) – Front Wood Siding, Upper Woodwork along the roof line (very top along the roofline)
  - Burled Redwood (PPG1067-7) – Window boxes, Corbels, Doors (with Bark PPG1007-7 detail), Upper Woodwork along the roof (accents)

### **Attachments:**

1. EXHIBIT A: Images of the Property
2. EXHIBIT B: COA Application
3. EXHIBIT C: Applicant Provided Paint Samples
4. EXHIBIT D: Applicant Provided Copy of Health Citation



**EXHIBIT A: Images of the Property**



**EXHIBIT B: COA Application**

*Permit A161057  
Approved A161058*



**Community Development**  
345 High Street, Suite 370  
Hamilton, Ohio 45011

**Architectural Design Review Board**

Phone: 513-785-7350

Fax: 513-785-7349

Email: hamiltonhistoric@ci.hamilton.oh.us

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

Exterior changes made to buildings, outbuildings, landscapes, or other exterior features located within one of the City of Hamilton's Historic Areas or properties individually listed by Ordinance shall not be permitted unless and until the Architectural Design Review Board issues a Certificate of Appropriateness for the action. The ADRB will review the plans, monitor the work and administer the Architectural Conservation/Historic District section (Section 1126.00) of the Hamilton City Zoning Ordinance.

**APPLICANTS ARE HIGHLY ENCOURAGED TO APPEAR BEFORE THE BOARD TO SUPPORT THEIR APPLICATION.**  
Contact the Planning Department for the location and time of the ADRB Meeting.

**A nonrefundable twenty-five dollar (\$25.00) fee for Residential property or fifty dollar (\$50.00) fee for Commercial property is due when a Certificate of Appropriateness application is submitted.**

Property Address: 401 N Third St, Hamilton OH 45011  
 Owner/s Name: William C. Wilks  
 Owner Mailing Address: 319 N Second St, Hamilton, OH 45011  
 Daytime Contact Phone: 513-868-9000 Email: bill@wilksinsurance.com  
 Contractor Phone: \_\_\_\_\_ Email: \_\_\_\_\_  
 Is this work part of another City of Hamilton function?  
 Health Department    Building Permit    NDD Work    Public Works    Other: \_\_\_\_\_  
 Copy of Certificate to: \_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

Please **specify** the exact location on the structure, the nature of the work, the materials to be used, and the existing historic features to be repaired or replaced. Landscape, fence, and out buildings, etc., should include a sketch of the property showing the proposed location. In order to make an appropriate, fair and timely decision the ADRB may request additional detailed information. This may include plans, sketches, photographs, and information about the materials to be used, including brochures, catalog information, and paint chips.

**Please provide as much detail as possible to expedite the review process.**

Work Proposed: (Describe type of work, existing conditions, and methods to be used, materials proposed)

Necessary Exterior Repairs & Painting  
Attached Health Dept. Requirements

**Any proposal CAN AND WILL be refused if proper evidence is lacking or deemed insufficient by Staff or the ADRB.**

Applicant Signature: [Signature] Date: 4-11-16

See Next Page



Porter Paint - Attached

CHECK ALL THAT APPLY & FILL IN THE CORRESPONDING INFORMATION

Paint  Sample Provided  
Appearance of Color: Shutters: Bark  
Color Name & Manufacturer: \_\_\_\_\_  
Location (body, window trim, specific trim, accent): \_\_\_\_\_

Siding  Sample Provided  
Existing Siding (style, material, color, location): Detail on wood siding: Almond Cream  
Proposed <sup>Existing</sup> Siding (style, material, color, location): Front: Coffee w/ Cream  
Manufacturer: \_\_\_\_\_ Proposed Size: \_\_\_\_\_

**NOTE: If proposing vinyl or aluminum siding, per ADRB Guidelines, applicant must be provided a copy of Preservation Brief 8, concerning siding. It is HIGHLY recommended that applicant provide pictures and document extensive reasons why vinyl or non-historic siding is being proposed.**

Roof \*Please note, Roofing requires a building permit\*  
Existing Roof (material, style, color): \_\_\_\_\_  
Proposed Roof (material, style, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Location: \_\_\_\_\_

Windows / Door Inside trim: Almond Cream  
Existing Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Proposed <sup>Existing</sup> Windows/Door (style, material, size, color, location): Burled Redwood w/ Bark (Detail)  
Manufacturer: \_\_\_\_\_ Type (if applicable): \_\_\_\_\_

**NOTE: Per ADRB Guidelines, it is recommended that proposed windows are the same size as the original window opening. Covering of windows is highly discouraged. For vinyl or other non-historic windows, it is recommended to document existing windows, including the condition and reasons why original windows should be replaced.**

Fence  
Existing Fence (type, material, color): \_\_\_\_\_  
Proposed Fence (type, material, color, location, course): \_\_\_\_\_

Gutters  
Existing Gutter (material, style, location, color): \_\_\_\_\_  
Proposed Gutter (material, style, location, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

Soffit Top: Coffee + Cream  
Existing Soffit (style, material, location, color): \_\_\_\_\_  
Proposed Soffit (style, material, location, color): Under overhang: Almond Cream  
Accents: Burled Redwood



## EXHIBIT C: Applicant Provided Paint Samples

401 North Third Street:

Shutters - Bark PPG1007-7

Inside Window Frames - Almond Cream PG 1086-3

Front Wood Siding - Coffee with cream PPG 1086-6

Detail on the Wood Siding - Almond Cream

Window Boxes - Corbels - Burlled Redwood PPG 1067-7

& Highlight boards on upper woodwork at the roof line.

Doors - Burlled Redwood with Bark details

Upper woodwork along the roof - Coffee and cream (along the roof line- very top)

Almond Cream (underneath the overhang)

Burlled Redwood (Accents)



## EXHIBIT D: Applicant Provided Copy of Health Citation



Founded 1791

401 N  
by 6-4  
Friends on Third

### Department of Public Health

City of Hamilton, Ohio  
Hamilton Municipal Building  
345 High Street, Hamilton, Ohio 45011  
Telephone 513 785-7080  
www.hamilton-city.org

01/29/2015

William C Wilks Tr  
319 N Second St  
Hamilton, OH 45011

Dear William C Wilks Tr:

Location of property 401 N THIRD ST  
Complaint ID # 201500561  
LOT # 205 S 35 PARCEL P6431008000043

An inspection of your premises indicates a violation of the following City Ordinance(s). You are hereby ordered to correct these violations within the specified time. TIME LIMITATION : 120 days by 6/4/15

If you can not meet this required time frame, please contact the sanitarian listed below to submit a written compliance time frame for review.

Brick walls need mortar where deteriorated; paint window/door frames, shutters, siding, trim and chimney where flaking; windows may not be boarded (see below for specifications).

#### 1779.07 SPECIFIC MAINTENANCE REQUIREMENTS.

##### (A) Exterior Building Maintenance.

(4) Exterior walls. All exterior walls shall be free from holes, breaks, loose or rotting materials, and shall be weatherproofed and properly surface coated where required to prevent deterioration. The exterior of every building and structure shall be free of obsolete hardware and fixtures. Any exterior painted surfaces which are altered by repairs or structural alterations shall be repainted.

PRIOR TO REMEDIATING THIS ORDINANCE, PLEASE VIEW THE EPA WEBSITE FOR A BRIEF BROCHURE ON HOW TO PROTECT YOUR FAMILY FROM LEAD IN YOUR HOME.

<http://www.epa.gov/lead/pubs/leadpdf.pdf>

IF YOU DO NOT HAVE ACCESS TO THE INTERNET, COME INTO THE HEALTH DEPARTMENT FOR A FREE BROCHURE: 345 HIGH ST SUITE 330, HAMILTON, OHIO 45011.

#### 1779.07 SPECIFIC MAINTENANCE REQUIREMENTS.

##### (A) Exterior Building Maintenance.

(7) Chimneys and towers. All chimneys, cooling towers, smoke stacks, and similar appurtenances shall be maintained structurally safe and sound, and in good repair. All exposed surfaces of metal or wood shall be protected from the elements and against decay or rust by periodic application of weather-coating materials, such as paint or similar surface treatment.

#### 1779.07 SPECIFIC MAINTENANCE REQUIREMENTS.

##### (A) Exterior Building Maintenance.

(9) Windows. Exterior windows, whether transparent, translucent or opaque, shall be kept in good repair, clean and free of marks, cracks, breaks, soap, wax and foreign substances. Windows shall be secured in a tight-fitting and weather proof manner, shall be easily operable and capable of being held in

position by window hardware. No exterior windows shall be permanently removed or enclosed, covered or boarded up, unless treated as an integral component of the facade using materials and detailing compatible with the building facade and style in general.

PRIOR TO REMEDIATING THIS ORDINANCE, PLEASE VIEW THE EPA WEBSITE FOR A BRIEF BROCHURE ON HOW TO PROTECT YOUR FAMILY FROM LEAD IN YOUR HOME.

<http://www.epa.gov/lead/pubs/leadpdf.pdf>





**To:** Architectural Design Review Board  
**From:** Heather Hodges, ADRB  
**Subject:** **AGENDA ITEM # 5**  
**311 Village Street – Painting**  
 William Wilks, Applicant  
 Meeting Date: **4/19/2016**  
 Received Application: **4/12/2016**  
**Impacts:** German Village Historic District

Dear Board Members:

**Synopsis**

A Certificate of Appropriateness application has been submitted for 311 Village Street to include the following proposal items needing Architectural Design Review Board examination and approval:

| Proposed Items<br>Needing ADRB COA Approval | Reason                                                                |
|---------------------------------------------|-----------------------------------------------------------------------|
| Painting                                    | Change of Exterior Appearance                                         |
| <i>Existing:</i>                            | Half painted building – lower portion is red, upper portion is green. |

The Proposal is also part of, or due to, one of the following City of Hamilton function:

|                                     |                                                                                     |
|-------------------------------------|-------------------------------------------------------------------------------------|
| Health Division (Health Department) | Citation by Health Division on June 23, 2015 for peeling paint and general repairs. |
|-------------------------------------|-------------------------------------------------------------------------------------|



## 311 Village Street Painting



## **Introduction:**

The Applicant, William Wilks, has submitted a Certificate of Appropriateness Application for the property of 311 Village Street. The proposal involves painting of the property.

The subject property of 311 Village Street is part of the German Village Historic District and is Zoned BPD – Business Planned Development.

## **Background:**

The property received a Health Division citation on June 23, 2015 for peeling paint and general exterior repairs.

## **Supplemental Items**

### **Implications for ADRB Policies & Guidelines; and Other Requirements**

There are no significant implications for the ADRB Policies & Guidelines concerning this project proposal.

### **State of Ohio Historic Designation**

This property of 311 Village Street is not part of the State of Ohio Historic Inventory.



## **PROPOSAL**

- Painting of the property in Porter Paints as noted below:
  - Shebang (PPG1127-5) – Body of the building
  - Namaste (PPG1026-1) – Trim of the building
  - Drops of Honey (PPG1090-4) - Door

### **Attachments:**

1. EXHIBIT A: Images of the Property
2. EXHIBIT B: COA Application
3. EXHIBIT C: Applicant Provided Paint Samples
4. EXHIBIT D: Applicant Provided Copy of Health Citation



**EXHIBIT A: Images of the Property**



EXHIBIT B: COA Application



Community Development
345 High Street, Suite 370
Hamilton, Ohio 45011

Permit A161059
Approved A161060

Phone: 513-785-7350

Architectural Design Review Board
Fax: 513-785-7349

Email: hamiltonhistoric@ci.hamilton.oh.us

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Exterior changes made to buildings, outbuildings, landscapes, or other exterior features located within one of the City of Hamilton's Historic Areas or properties individually listed by Ordinance shall not be permitted unless and until the Architectural Design Review Board issues a Certificate of Appropriateness for the action. The ADRB will review the plans, monitor the work and administer the Architectural Conservation/Historic District section (Section 1126.00) of the Hamilton City Zoning Ordinance.

APPLICANTS ARE HIGHLY ENCOURAGED TO APPEAR BEFORE THE BOARD TO SUPPORT THEIR APPLICATION.
Contact the Planning Department for the location and time of the ADRB Meeting.

A nonrefundable twenty-five dollar (\$25.00) fee for Residential property or fifty dollar (\$50.00) fee for Commercial property is due when a Certificate of Appropriateness application is submitted.

Property Address: 311 Village
Owner/s Name: William C. Wilks Trustee
Owner Mailing Address: 319 N. Second St., Hamilton, OH 45011
Daytime Contact Phone: 513-868-9000 Email: bill@wilksinsurance.com
Contractor Phone: Email:

Is this work part of another City of Hamilton function?
[X] Health Department [ ] Building Permit [ ] NDD Work [ ] Public Works [ ] Other:
Copy of Certificate to:

DESCRIPTION OF WORK TO BE PERFORMED

Please specify the exact location on the structure, the nature of the work, the materials to be used, and the existing historic features to be repaired or replaced. Landscape, fence, and out buildings, etc., should include a sketch of the property showing the proposed location. In order to make an appropriate, fair and timely decision the ADRB may request additional detailed information. This may include plans, sketches, photographs, and information about the materials to be used, including brochures, catalog information, and paint chips.

Please provide as much detail as possible to expedite the review process.

Work Proposed: (Describe type of work, existing conditions, and methods to be used, materials proposed)
Necessary Exterior Repairs & Painting
Attached: Health Dept. Requirements

Any proposal CAN AND WILL be refused if proper evidence is lacking or deemed insufficient by Staff or the ADRB.

Applicant Signature: [Signature] Date: 4-11-16

See Next Page



Porter Paint - Attached

CHECK ALL THAT APPLY & FILL IN THE CORRESPONDING INFORMATION

Paint  Sample Provided  
Appearance of Color: Shubang  
Color Name & Manufacturer: \_\_\_\_\_  
Location (body, window trim, specific trim, accent): Body - wood

Siding  Sample Provided  
Existing Siding (style, material, color, location): \_\_\_\_\_  
Proposed Siding (style, material, color, location): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Proposed Size: \_\_\_\_\_

**NOTE: If proposing vinyl or aluminum siding, per ADRB Guidelines, applicant must be provided a copy of Preservation Brief 8, concerning siding. It is HIGHLY recommended that applicant provide pictures and document extensive reasons why vinyl or non-historic siding is being proposed.**

Roof \*Please note, Roofing requires a building permit\*  
Existing Roof (material, style, color): \_\_\_\_\_  
Proposed Roof (material, style, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Location: \_\_\_\_\_

Windows / Door  
Existing Windows/Door (style, material, size, color, location): Trim: Namaste  
~~Existing~~ Proposed Windows/Door (style, material, size, color, location): Drops of Honey  
Manufacturer: \_\_\_\_\_ Type (if applicable): \_\_\_\_\_

**NOTE: Per ADRB Guidelines, it is recommended that proposed windows are the same size as the original window opening. Covering of windows is highly discouraged. For vinyl or other non-historic windows, it is recommended to document existing windows, including the condition and reasons why original windows should be replaced.**

Fence  
Existing Fence (type, material, color): \_\_\_\_\_  
Proposed Fence (type, material, color, location, course): \_\_\_\_\_

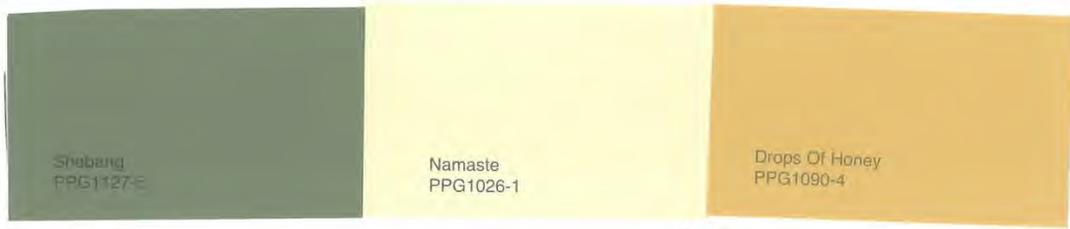
Gutters  
Existing Gutter (material, style, location, color): \_\_\_\_\_  
Proposed Gutter (material, style, location, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

Soffit  
Existing Soffit (style, material, location, color): Namaste  
Proposed Soffit (style, material, location, color): \_\_\_\_\_



**EXHIBIT C: Applicant Provided Paint Samples**

Storage Building - 311 Village  
Body - Shebang - PPG 1127-5  
Trim - Namaste - PPG - 1026-1  
Doors/Front - Drops of Honey - PPG-1090-4



**EXHIBIT D: Applicant Provided Copy of Health Citation**



**Public Health**  
345 High Street, Suite 330  
Hamilton, Ohio 45011

06/23/2015

William Wilks  
319 N Second St Po Box 295  
Hamilton, OH 45012

*311 Village*

Dear William Wilks:

Location of property 346 N Third St AKA 311 VILLAGE ST  
Complaint ID # 201504352  
LOT # 283373NT PARCEL P6431010000044

*By 9-25*

An inspection of your premises indicates a violation of the following City Ordinance(s). You are hereby ordered to correct these violations within the specified time. TIME LIMITATION : 90 days by September 25, 2015

**Repair areas with peeling or flaking paint including but not limited to:**

- door components
- stoops
- walls.

**Repair damaged areas including but not limited to:**

- exterior siding
- soffits
- door components
- wood trim

If you can not meet this required time frame, please contact the sanitarian listed below to submit a written compliance time frame for review.

Hamilton City Administration is making a concentrated effort to improve the appearance of our community. As part of this effort, the Health Department has been tasked with inspecting properties and notifying the owners of needed repairs and improvements to be compliance with City's property maintenance requirements.

An inspection of you property indicates a violation of the following City Ordinance(s):

**1713.11 WEATHER AND WATERTIGHT.**

Every structure, used for human habitation, shall be so maintained that it will be weather and watertight.

PRIOR TO REMEDIATING THIS ORDINANCE, PLEASE VIEW THE EPA WEBSITE FOR A BRIEF BROCHURE ON HOW TO PROTECT YOUR FAMILY FROM LEAD IN YOUR HOME.

<http://www.epa.gov/lead/pubs/leadpdf.pdf>

IF YOU DO NOT HAVE ACCESS TO THE INTERNET, COME INTO THE HEALTH DEPARTMENT FOR A





**To:** Architectural Design Review Board  
**From:** Ed Wilson, ADRB  
**Subject:** **AGENDA ITEM # 6**  
**21 South C Street – Painting**  
 Steve Packo, Applicant  
 Meeting Date: **4/19/2016**  
 Received Application: **4/12/2016**  
**Impacts:** Rossville-Main Street Historic District

Dear Board Members:

**Synopsis**

A Certificate of Appropriateness application has been submitted for 21 South C Street to include the following proposal items needing Architectural Design Review Board examination and approval:

| Proposed Items<br>Needing ADRB COA Approval                                                                                                                                                                                                                                                                                       | Reason                                           |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| Paint Exterior                                                                                                                                                                                                                                                                                                                    | Change of Exterior Appearance<br>Change of Color |
| <p><b>Existing:</b> <i>Light Cyan body color</i><br/>                     (Possible Matches: SW 6514 “Respite”; SW 6507 “Resolute Blue”; SW 6500 “Open Seas”; SW 6521 “Notable Hue”)<br/>                     Dark Green trim color</p> <p><b>Per Applicant, Existing:</b> <i>Light green body color with dark green trim</i></p> |                                                  |

The Proposal is also part of, or due to, one of the following City of Hamilton function:

|      |  |
|------|--|
| None |  |
|------|--|



## 21 South C Street Paint Exterior



## **Introduction:**

The Applicant, Steve Packo, has submitted a Certificate of Appropriateness Application for the property of 21 South C Street. The proposal involves the painting of the structure.

The subject property of 21 South C Street is part of the Rossville-Main Street Historic District and is Zoned “MS-1”, Main Street Core – Form Based Zoning District.

## **Background:**

The Applicant has been in contact with the Planning Division, concerning work needed for 21 South C Street, and seeking the proper steps for COA compliance. This resulted in the submitted COA Application and proposal for ADRB review.

## **Supplemental Items**

### **Implications for ADRB Policies & Guidelines; and Other Requirements**

The subject of painting broaches the topic of Painting – Color Approval for the ADRB Policies & Guidelines. The guideline indicates that the board may use certain publications as a reference base for decision making. However, this is only a guideline and the board has used other judgment pertaining to the form, proposed colors, questioning the applicant and other variable for approving color.

### **State of Ohio Historic Designation**

This property of 21 South C Street is part of the State of Ohio Historic Inventory, referenced as BUT-377-9. Please note that despite the designation, immediate review jurisdiction falls with the local Architectural Design Review Board. This information is included to further enhance this report and for the board members to consider regarding deliberation of the property and proposal.



## **PROPOSAL**

Painting of the Building is proposed. Utilizing multiple paint types and manufacturers.

- Sherwin Williams: SW 6149 “Relaxed Khaki” proposed for the Body of the house
  - (Also paint downspouts like the body of the house to hide them as well as any area they pass through.)
- Benjamin Moore, Historic Colors: HC-27 “Monterey White” proposed for the Trim around doors and windows
- Sherwin Williams: SW 6994 “Greenblack” proposed for the Doors
  - Sherwin Williams: SW 6215 “Rocky River”, glossy finish

Applicant notes that the selected color palette originated from Pam Mosser of Design Inspiration.

### **Attachments:**

1. EXHIBIT A: Applicant Submitted - Images of Property
2. EXHIBIT B: Applicant Submitted - State of Ohio Inventory Record
3. EXHIBIT C: COA Application



## EXHIBIT A: Applicant Submitted Images of the Property

Exhibit A, Application for Certificate of Appropriateness, 21 South C Street

Current color of building is a light green with dark green trim.



P6412102000032 10/08/2012



Exhibit A, Application for Certificate of Appropriateness, 21 South C Street

Proposed Colors:

Main Building: Sherwin-Williams, Relaxed Khaki SW6149. (Paint downspouts like the body of the house to hide them as well as any area they pass through.)



Trim around doors and windows:  
Benjamin Moore Historic Colors, Monterey White HC-27.



Doors:  
Sherwin-Williams, Greenblack SW6994, SW6215 Rocky River, glossy finish.



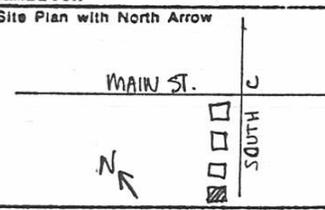
*Color palette is courtesy of Pam Mosser, Design Inspiration.*



**EXHIBIT B: State of Ohio Historic Inventory Record**

Ohio Historic Preservation Office  
Ohio Historical Center  
Columbus, Ohio 43211

**OHIO HISTORIC INVENTORY** CODED

|                                                                                                                                                                                                                                                                                                                                               |   |                                                                                                                                           |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|-------------------------------------------------------------------------------------------------------------------------------------------|---|-----------------------------------------|---|---|---|---|---|---|---|---|---|---|---|---|---------------------------|--|
| 1. No.<br><u>But-377-9</u>                                                                                                                                                                                                                                                                                                                    |   | 4. Present Name(s)                                                                                                                        |   | 1. No<br><u>But-377-9</u>               |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 2. County<br>Butler                                                                                                                                                                                                                                                                                                                           |   | 5. Other Name(s)                                                                                                                          |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 3. Location of Negatives<br>City Planning                                                                                                                                                                                                                                                                                                     |   | Lewis Hampton House                                                                                                                       |   | 2. County<br>Butler                     |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 6. Specific Location<br><br>21 South "C" St.                                                                                                                                                                                                                                                                                                  |   | 16. Thematic Category<br>Manufacturing/industry                                                                                           |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 7. City or Town If Rural, Township & Vicinity<br>Hamilton                                                                                                                                                                                                                                                                                     |   | 17. Date(s) or Period<br>c. 1835                                                                                                          |   | 4. Present Name(s)                      |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 8. Site Plan with North Arrow<br><br>                                                                                                                                                                                                                        |   | 18. Style or Design<br>Federal Vernacular                                                                                                 |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 9. Coordinates<br>Lat. _____ Long. _____<br>U.T.M. Reference <u>7</u> <u>094</u><br><table border="1" style="font-size: small; border-collapse: collapse;"><tr><td>16</td><td>7</td><td>0</td><td>9</td><td>3</td><td>5</td><td>0</td><td>4</td><td>3</td><td>6</td><td>4</td><td>1</td><td>0</td><td>0</td><td>0</td></tr></table>           |   | 16                                                                                                                                        | 7 | 0                                       | 9 | 3 | 5 | 0 | 4 | 3 | 6 | 4 | 1 | 0 | 0 | 0 | 19. Architect or Engineer |  |
| 16                                                                                                                                                                                                                                                                                                                                            | 7 | 0                                                                                                                                         | 9 | 3                                       | 5 | 0 | 4 | 3 | 6 | 4 | 1 | 0 | 0 | 0 |   |   |                           |  |
| 10. Zone Easting Northing<br>Site <input type="checkbox"/> Structure <input type="checkbox"/><br>Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>                                                                                                                                                                 |   | 20. Contractor or Builder                                                                                                                 |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 11. On National Register? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                 |   | 21. Original Use, if apparent<br>residence                                                                                                |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                       |   | 22. Present Use<br>Barber shop, Apt. 2nd floor                                                                                            |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 13. Part of Estab. Yes <input checked="" type="checkbox"/> Hist. Dist.? No <input type="checkbox"/>                                                                                                                                                                                                                                           |   | 23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>                                                 |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 14. District Potent? Yes <input type="checkbox"/> No <input type="checkbox"/>                                                                                                                                                                                                                                                                 |   | 24. Owner's Name & Address, if known<br>Clifford Rameyer<br>1030 Park Avenue                                                              |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 15. Name of Established District<br>Rossville Historic District                                                                                                                                                                                                                                                                               |   | 25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                   |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 42. Further Description of Important Features<br>A narrow cornice board marks the street facade. The original windows have been replaced with 1/1 double hung sashes. The windows have verticle brick lintels and wooden lug sills. The doorway entablature appears to be recent. A concrete block and brick room has been added to the rear. |   | 26. Local Contact Person or Organization<br>Hamilton Planning Dept.                                                                       |   | 5. Other Name(s)<br>Lewis Hampton House |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 43. History and Significance<br>In the 1910 census Lewis Hampton appeared as the owner of this building. He was a native of Ohio and at that time was 58 years old and a machinist in a machine shop. This is a very good example of early vernacular Ohio architecture.                                                                      |   | 27. Other Surveys in Which Included                                                                                                       |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 44. Description of Environment and Outbuildings<br>Older buildings on older street in Rossville Historic District. Well preserved, good adaptive use.                                                                                                                                                                                         |   | 28. No. of Stories 2                                                                                                                      |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
| 45. Sources of Information<br>p.o.<br>County records<br>U.S. Census, 1910                                                                                                                                                                                                                                                                     |   | 29. Basement? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                         |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 30. Foundation Material<br>rubble stone                                                                                                   |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 31. Wall Construction<br>brick                                                                                                            |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 32. Roof Type & Material<br>gable asphalt shingle                                                                                         |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 33. No. of Bays Front 3 Side 2                                                                                                            |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 34. Wall Treatment<br>common bond                                                                                                         |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 35. Plan Shape<br>rectangle                                                                                                               |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 36. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input type="checkbox"/> Moved <input type="checkbox"/> |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 37. Condition Interior _____ Exterior good                                                                                                |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                            |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                              |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 40. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>                                         |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 41. Distance from and Frontage on Road<br>12'                                                                                             |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 46. Prepared by<br>JES                                                                                                                    |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 47. Organization<br>PMA                                                                                                                   |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 48. Date<br>778                                                                                                                           |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |
|                                                                                                                                                                                                                                                                                                                                               |   | 49. Revision Date(s)<br>12-83                                                                                                             |   |                                         |   |   |   |   |   |   |   |   |   |   |   |   |                           |  |



# EXHIBIT C: COA Application



## Architectural Design Review Board

Phone: 513-785-7350

Fax: 513-785-7349

Email: hamiltonhistoric@ci.hamilton.oh.us

### APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Exterior changes made to buildings, outbuildings, landscapes, or other exterior features located within one of the City of Hamilton's Historic Areas or properties individually listed by Ordinance shall not be permitted unless and until the Architectural Design Review Board issues a Certificate of Appropriateness for the action. The ADRB will review the plans, monitor the work and administer the Architectural Conservation/Historic District section (Section 1126.00) of the Hamilton City Zoning Ordinance.

**APPLICANTS ARE HIGHLY ENCOURAGED TO APPEAR BEFORE THE BOARD TO SUPPORT THEIR APPLICATION.**

Please see Page 4 for the Meeting Dates and Application Deadlines.

**A nonrefundable twenty-five dollar (\$25.00) fee for Residential property or fifty dollar (\$50.00) fee for Commercial property is due when a Certificate of Appropriateness application is submitted.**

Property Address: 21 South C Street

Applicant Name: Steve Packo

Applicant Mailing Address: PO Box 8164, West Chester, Ohio 45069

Owner/s Name: Vintage Homes of Ohio, LTD

Owner Mailing Address: PO Box 8164, West Chester, Ohio 45069

Daytime Contact Phone: 235-7410 Email: steve@VintageHomesOfOhio.com

Contractor Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Is this work part of another City of Hamilton function?

Health Department  Building Permit  NDD Work  Public Works  Other: \_\_\_\_\_

### DESCRIPTION OF WORK TO BE PERFORMED

Please **specify** the exact location on the structure, the nature of the work, the materials to be used, and the existing historic features to be repaired or replaced. Landscape, fence, and out buildings, etc., should include a sketch of the property showing the proposed location. In order to make an appropriate, fair and timely decision the ADRB may request additional detailed information. This may include plans, sketches, photographs, and information about the materials to be used, including brochures, catalog information, and paint chips.

**Please provide as much detail as possible to expedite the review process.**

Work Proposed: (Describe type of work, existing conditions, and methods to be used, materials proposed)

Paint exterior of building, see Exhibit A.

Main building, Sherwin-Williams Relaxed Khaki SW6149

Trim around doors and windows, Benjamin Moore Monterey White HC-27

Doors, Sherwin-Williams GreenBlack SW 6994 (glossy finish)

**Any proposal CAN AND WILL be refused if proper evidence is lacking or deemed insufficient by Staff or the ADRB.**

Applicant Signature: Steve Packo Date: 4/12/2016

See Next Page Page 1 of 4



**CHECK ALL THAT APPLY & FILL IN THE CORRESPONDING INFORMATION**

Paint  Sample Provided  
Appearance of Color: see Exhibit A  
Color Name & Manufacturer: \_\_\_\_\_  
Location (body, window trim, specific trim, accent): \_\_\_\_\_

Siding  Sample Provided  
Existing Siding (style, material, color, location): \_\_\_\_\_  
Proposed Siding (style, material, color, location): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Proposed Size: \_\_\_\_\_

**NOTE: If proposing vinyl or aluminum siding, per ADRB Guidelines, applicant must be provided a copy of Preservation Brief 8, concerning siding. It is HIGHLY recommended that applicant provide pictures and document extensive reasons why vinyl or non-historic siding is being proposed.**

Roof \*Please note, Roofing requires a building permit\*  
Existing Roof (material, style, color): \_\_\_\_\_  
Proposed Roof (material, style, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Location: \_\_\_\_\_

Windows / Door  
Existing Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Proposed Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Type (if applicable): \_\_\_\_\_

**NOTE: Per ADRB Guidelines, it is recommended that proposed windows are the same size as the original window opening. Covering of windows is highly discouraged. For vinyl or other non-historic windows, it is recommended to document existing windows, including the condition and reasons why original windows should be replaced.**

Fence  
Existing Fence (type, material, color): \_\_\_\_\_  
Proposed Fence (type, material, color, location, course): \_\_\_\_\_

Gutters  
Existing Gutter (material, style, location, color): \_\_\_\_\_  
Proposed Gutter (material, style, location, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

Soffit  
Existing Soffit (style, material, location, color): \_\_\_\_\_  
Proposed Soffit (style, material, location, color): \_\_\_\_\_





**To:** Architectural Design Review Board  
**From:** Ed Wilson, ADRB  
**Subject:** **AGENDA ITEM # 7**  
**100 North B Street – Wood Front Decks and Metal over Cornices/Upper Expression Lines**  
 Daniel Wells, Applicant  
 Meeting Date: **4/19/2016**  
 Received Application: **4/7/2016**  
**Impacts:** State Historic Inventory

---

Dear Board Members:

**Synopsis**

A Certificate of Appropriateness application has been submitted for 100 North B Street to include the following proposal items needing Architectural Design Review Board examination and approval:

| <b>Proposed Items<br/>Needing ADRB COA Approval</b>                             | <b>Reason</b>                                                              |
|---------------------------------------------------------------------------------|----------------------------------------------------------------------------|
| Wood Front Decks                                                                | Addition/Change to Entrances of Structure<br>Change of Exterior Appearance |
| <i>Existing: Concrete Steps, Black Metal Railing (various states of damage)</i> |                                                                            |
|                                                                                 |                                                                            |
| Metal over Cornices/Upper Expression Lines                                      | Change/Covering of Existing Materials                                      |
| <i>Existing: Wood, yellow color</i>                                             |                                                                            |



The Proposal is also part of, or due to, one of the following City of Hamilton function:

|                                                                                  |  |
|----------------------------------------------------------------------------------|--|
| ✓ Health Division (Health Department)<br><i>Per conversation with Applicant.</i> |  |
|----------------------------------------------------------------------------------|--|

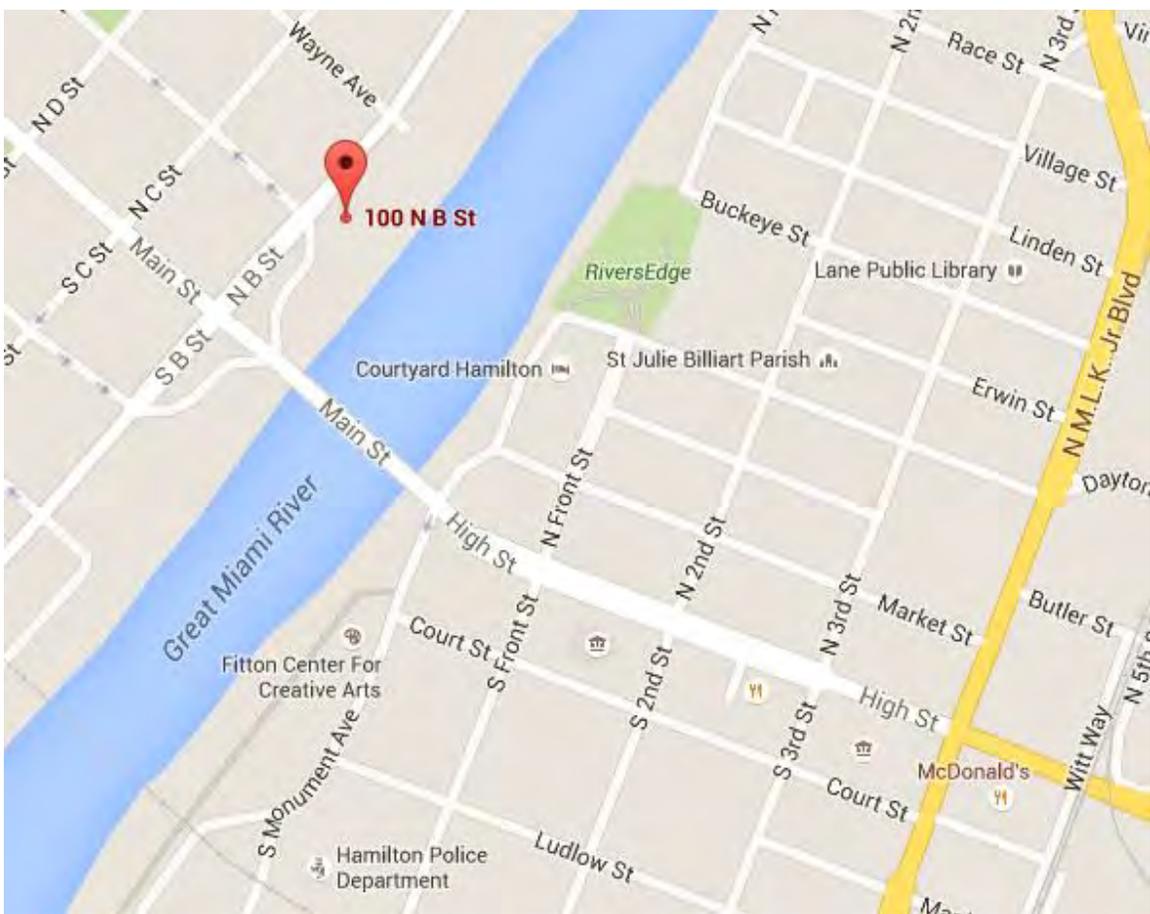
**Introduction:**

The Applicant, Daniel Wells, has submitted a Certificate of Appropriateness Application for the property of 100 North B Street. The proposal involves two items. First, the Applicant proposes building new Wood Decks with railing and pergolas, for the entrances of the structure. Second, the Applicant proposes Wrapping in Metal the Wood Upper Expression Lines that define the top of the first floor and the profile of the top building.

The subject property of 100 North B Street is part of the State Historic Inventory and is Zoned “R-O”, Multi-Family Residential – Office District.



**100 North B Street**  
**Wood Front Decks and Metal over Cornices/Upper Expression**  
**Lines**



## **Background:**

In Late February 2016, the Applicant contacted the Community Development Department, Planning Division, due to a combination of Health Division Citation and the Planning Staff's efforts to inform the required State Historic Inventory property owners of the historic approval process and ADRB jurisdiction. In the conversation, the Applicant indicated the Health Citation, which per the Applicant, included the need to address the chipped paint areas and the cracked concrete.

The Applicant then relayed the proposed plans for the structure, which included wrapping the trim and the erection of wooden decks. The overall intention of the Applicant is to improve the property, but make it more maintenance-free. The Applicant indicated not wanting to have to paint the existing trim every 4 or 5 years, and expressed a disinclination for painting due to one of the sighted areas being 25 feet in the air. Staff answered the Applicant's questions, urged consideration of less intrusive solutions, and noted the need for a COA application and Architectural Design Review Board approval in order to begin the discussed work.

In April, the Applicant contacted the Planning Division once more, for clarification on what was needed to begin work. Once more, it was explained that a COA application was needed; the Applicant then visited the Planning Office in order to ask questions and submit an application. The proposal for 100 North B Street was the same as the previous conversation. This also included Staff sitting down with the Applicant to obtain some measure of samples via internet searches, for inclusion and attempted clarification of the proposal.

Staff did relay that such a proposal may have its difficulty due to the interruption of the existing historic material. Further, Staff again urged consideration of other more agreeable solutions such as painting the cited cornices. The Applicant still submitted the COA Application consisting of the current proposal for review, and again noted the need for work due to the Health Citation. Due to the proposal, the Staff relayed a physical copy of Preservation Brief #8 for thoroughness and for the Applicant's consideration. This was followed by an email to the Applicant of the ADRB Policies & Guidelines.

It appears that the front façade of the building is constructed adjacent (or very close to) to the front property/right-of-way line along North B Street. Therefore, any new construction would have to be reviewed and approved by City of Hamilton Public Works Department, because of the potential encroachment into the right-of-way.



## **Supplemental Items**

### **Implications for ADRB Policies & Guidelines; and Other Requirements**

The particular case appears to only possibly and partially broach the subjects of Siding and Gutters, pertaining to the ADRB Policies & Guidelines.

For Siding, the 100 North B Street proposal only applies for the proposed metal wrap of cornices for the first floor and roof. Summarily, aluminum and other non-original siding material will only be approved as a last resort, with extenuating circumstances justifying the need for it, and that the board may require certain application methods or materials to mitigate the effect.

For Gutters, the aforementioned includes the proposed wrap of the roof expression line, halfway up and the soffit. This is only tangentially related to the specific policies & guidelines of gutters, though the proposal has implications for the soffits of the structure.

### **State of Ohio Historic Designation**

This property of 100 North B Street is part of the State of Ohio Historic Inventory, referenced as BUT-372-9. Please note that despite the designation, immediate review jurisdiction falls with the local Architectural Design Review Board. This information is included to further enhance this report and for the board members to consider regarding deliberation of the property and proposal.



## **PROPOSAL**

Summary, Per the Applicant: Build new wood decks with railing & pergola, over the existing concrete ones in front of building. Wrap existing wood trim halfway up & soffit with metal trim, clay in color.

### **Wooden Decks**

- Build New Wooden Decks, over the existing concrete steps for the entrances along North B Street.
- This includes Wood Railing and Pergolas for each of the porches.
- The new decks will be level with the entrances.
- Note Applicant did not select a color. Per the Applicant, the ADRB can decide the color of the proposed wooden decks.
  - Applicant selected example through staff-applicant meeting has been provided as an Exhibit Attachment item.

### **Wrap Cornice in Metal**

- “Clay” in color
  - Per the Applicant, the existing color is undesirable, hence the proposed clay color.
- Per the Applicant, the metal will be wrapped to follow the shape of the existing cornice and soffit
  - Applicant selected example through staff-applicant meeting has been provided as an Exhibit Attachment item.



**Attachments:**

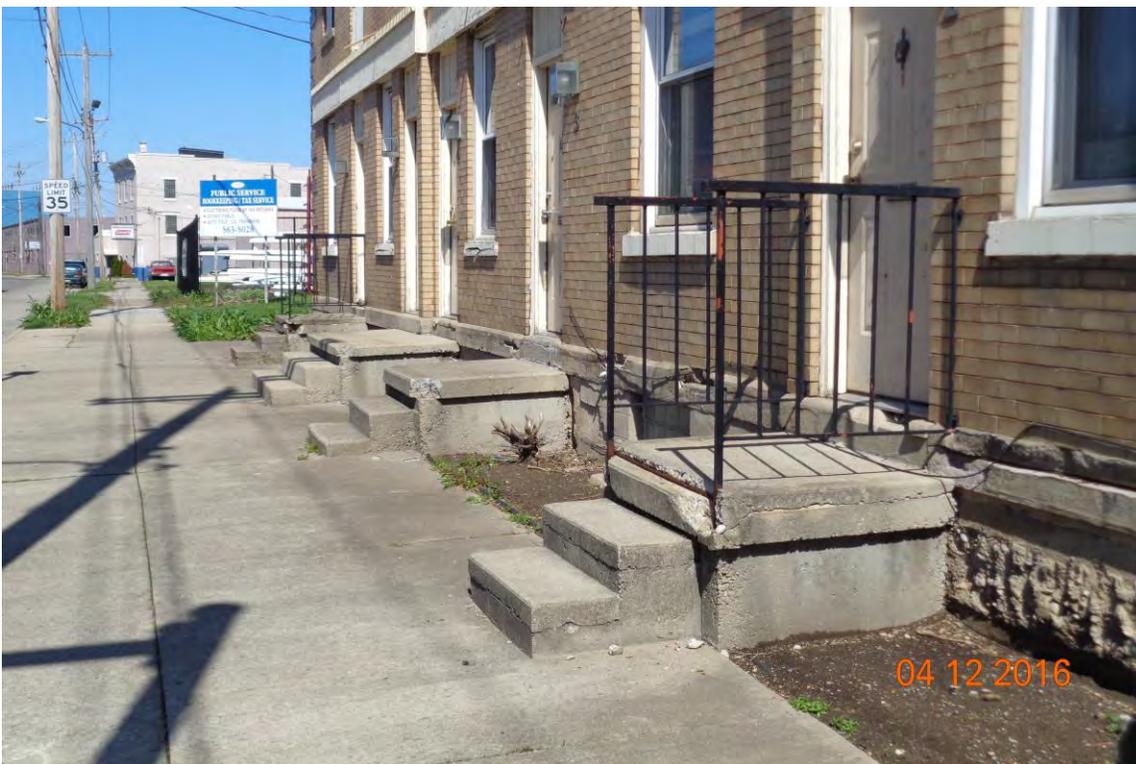
1. EXHIBIT A: Images of the Property
2. EXHIBIT B1: Staff Highlighted Photos of Concrete Steps proposed for Wooden Decks
3. EXHIBIT B2: Applicant Selected Sample of Proposed Wood Decks
4. EXHIBIT C1: Staff Highlighted Photos of Cornices proposed for Metal Wrap
5. EXHIBIT C2: Applicant Selected Color Swatch of Wrap – Internet Search (Digital Item)
6. EXHIBIT D: COA Application
7. EXHIBIT E: State of Ohio Inventory Record



**EXHIBIT A: Images of the Property**



**EXHIBIT B1: Staff Highlighted Photos of Concrete Steps proposed for Wooden Decks**







**EXHIBIT B2: Applicant Selected Sample of Proposed Wood Decks**

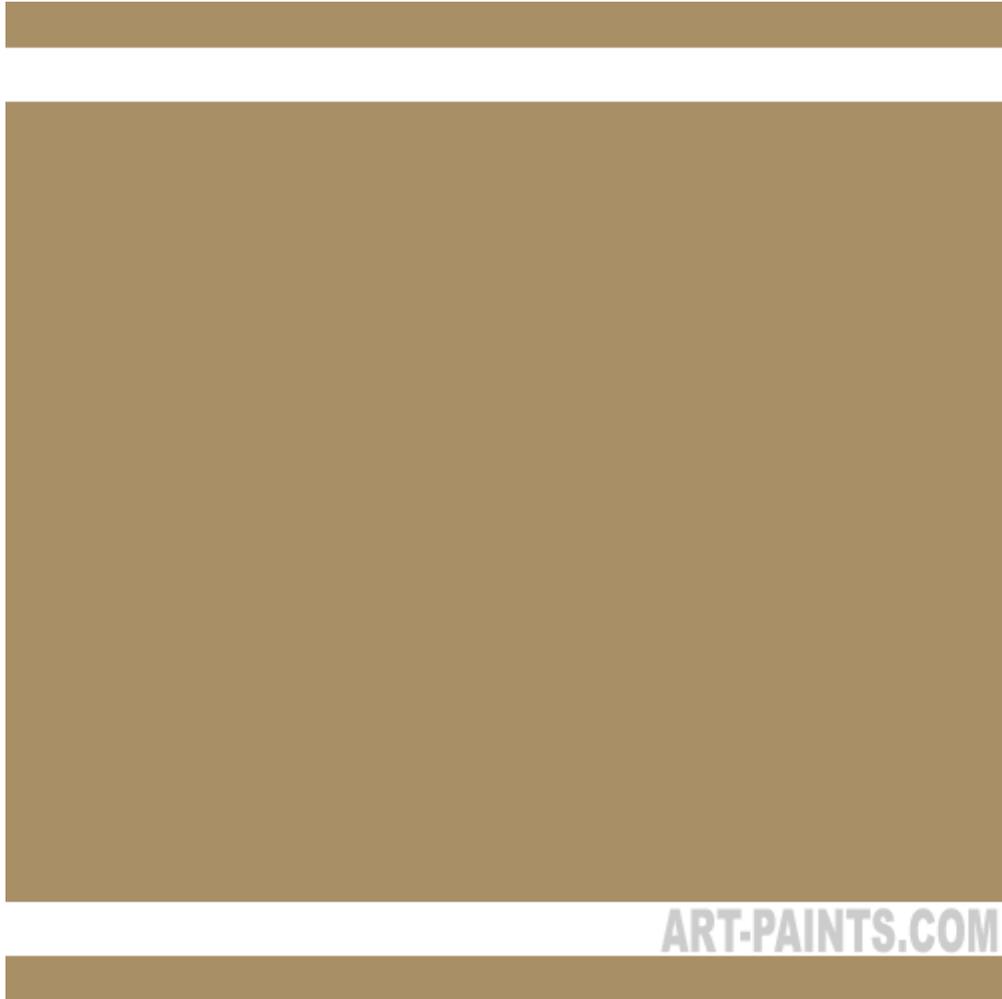


**EXHIBIT C1: Staff Highlighted Photos of Cornices proposed for Metal Wrap**





**EXHIBIT C2: Applicant Selected Color Swatch of Wrap – Internet Search  
(Digital Item)**



# EXHIBIT D: COA Application

A160971  
A160972



Community Development  
345 High Street, Suite 370  
Hamilton, Ohio 45011

## Architectural Design Review Board

Phone: 513-785-7350

Fax: 513-785-7349

Email: hamiltonhistoric@ci.hamilton.oh.us

### APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

Exterior changes made to buildings, outbuildings, landscapes, or other exterior features located within one of the City of Hamilton's Historic Areas or properties individually listed by Ordinance shall not be permitted unless and until the Architectural Design Review Board issues a Certificate of Appropriateness for the action. The ADRB will review the plans, monitor the work and administer the Architectural Conservation/Historic District section (Section 1126.00) of the Hamilton City Zoning Ordinance.

**APPLICANTS ARE HIGHLY ENCOURAGED TO APPEAR BEFORE THE BOARD TO SUPPORT THEIR APPLICATION.**

Please see Page 4 for the Meeting Dates and Application Deadlines.

**A nonrefundable twenty-five dollar (\$25.00) fee for Residential property or fifty dollar (\$50.00) fee for Commercial property is due when a Certificate of Appropriateness application is submitted.**

Property Address: 100 NB<sup>st</sup>  
Applicant Name: Daniel C Wells  
Applicant Mailing Address: 4727 Shadow dr Guilford IN 47022  
Owner/s Name: Daniel C Wells  
Owner Mailing Address: 4727 Shadow dr Guilford IN 47022  
Daytime Contact Phone: 513-623-7677 Email: c.wells@fuse.net  
Contractor Phone: \_\_\_\_\_ Email: \_\_\_\_\_  
Is this work part of another City of Hamilton function?  
 Health Department  Building Permit  NDD Work  Public Works  Other: NO

### DESCRIPTION OF WORK TO BE PERFORMED

Please **specify** the exact location on the structure, the nature of the work, the materials to be used, and the existing historic features to be repaired or replaced. Landscape, fence, and out buildings, etc., should include a sketch of the property showing the proposed location. In order to make an appropriate, fair and timely decision the ADRB may request additional detailed information. This may include plans, sketches, photographs, and information about the materials to be used, including brochures, catalog information, and paint chips.

**Please provide as much detail as possible to expedite the review process.**

Work Proposed: (Describe type of work, existing conditions, and methods to be used, materials proposed)

Build new wood decks with railing + pergola over existing concrete ones in front of building.  
Wrap existing wood trim halfway up + soffit with metal trim clay in color.

**Any proposal CAN AND WILL be refused if proper evidence is lacking or deemed insufficient by Staff or the ADRB.**

Applicant Signature: Daniel C Wells Date: 4-7-16  
See Next Page

Page 1 of 4



**CHECK ALL THAT APPLY & FILL IN THE CORRESPONDING INFORMATION**

Paint  Sample Provided  
Appearance of Color: \_\_\_\_\_  
Color Name & Manufacturer: \_\_\_\_\_  
Location (body, window trim, specific trim, accent): \_\_\_\_\_

Siding  Sample Provided  
Existing Siding (style, material, color, location): \_\_\_\_\_  
Proposed Siding (style, material, color, location): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Proposed Size: \_\_\_\_\_

**NOTE: If proposing vinyl or aluminum siding, per ADRB Guidelines, applicant must be provided a copy of Preservation Brief 8, concerning siding. It is HIGHLY recommended that applicant provide pictures and document extensive reasons why vinyl or non-historic siding is being proposed.**

Roof \*Please note, Roofing requires a building permit\*  
Existing Roof (material, style, color): \_\_\_\_\_  
Proposed Roof (material, style, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Location: \_\_\_\_\_

Windows / Door  
Existing Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Proposed Windows/Door (style, material, size, color, location): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_ Type (if applicable): \_\_\_\_\_

**NOTE: Per ADRB Guidelines, it is recommended that proposed windows are the same size as the original window opening. Covering of windows is highly discouraged. For vinyl or other non-historic windows, it is recommended to document existing windows, including the condition and reasons why original windows should be replaced.**

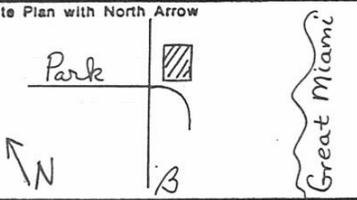
Fence  
Existing Fence (type, material, color): \_\_\_\_\_  
Proposed Fence (type, material, color, location, course): \_\_\_\_\_

Gutters  
Existing Gutter (material, style, location, color): \_\_\_\_\_  
Proposed Gutter (material, style, location, color): \_\_\_\_\_  
Manufacturer: \_\_\_\_\_

Soffit  
Existing Soffit (style, material, location, color): wood, yellow  
Proposed Soffit (style, material, location, color): metal, clay or tan color



# EXHIBIT E: State of Ohio Inventory Record

|                                                                                                                                                                                                                                                                                                                                                                                        |  |                                                                                           |  |                                                                                                                                           |                     |                     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---------------------|
| 1. No.<br>BUT-372-9                                                                                                                                                                                                                                                                                                                                                                    |  | 4. Present Name(s)<br>The Hemdil Building                                                 |  | CODED                                                                                                                                     | 1. No.<br>BUT-372-9 |                     |
| 2. County<br>Butler                                                                                                                                                                                                                                                                                                                                                                    |  | 5. Other Name(s)<br>The Hemdil Flats                                                      |  |                                                                                                                                           |                     | 2. County<br>Butler |
| 3. Location of Negatives<br>Hamilton Planning Dept.                                                                                                                                                                                                                                                                                                                                    |  |                                                                                           |  |                                                                                                                                           |                     |                     |
| 6. Specific Location<br>100 North "B" St.                                                                                                                                                                                                                                                                                                                                              |  | 16. Thematic Category<br>Manufacturing/industry                                           |  | 28. No. of Stories 2                                                                                                                      |                     |                     |
| 7. City or Town If Rural, Township & Vicinity<br>Hamilton                                                                                                                                                                                                                                                                                                                              |  | 17. Date(s) or Period<br>c1918                                                            |  | 29. Basement? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                         |                     |                     |
| 8. Site Plan with North Arrow<br>                                                                                                                                                                                                                                                                     |  | 18. Style or Design<br>Second Renaissance Revival                                         |  | 30. Foundation Material<br>Concrete                                                                                                       |                     |                     |
| 9. Coordinates<br>Lat. _____ Long. _____<br>U.T.M. Reference<br>Zone Easting Northing<br>176 709600 4361110                                                                                                                                                                                                                                                                            |  | 19. Architect or Engineer                                                                 |  | 31. Wall Construction<br>Brick                                                                                                            |                     |                     |
| 10. Site <input type="checkbox"/> Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/>                                                                                                                                                                                                                                      |  | 20. Contractor or Builder                                                                 |  | 32. Roof Type & Material<br>Flat                                                                                                          |                     |                     |
| 11. On National Register? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                                                          |  | 21. Original Use, if apparent<br>Apartments                                               |  | 33. No. of Bays<br>Front 3 Side 3                                                                                                         |                     |                     |
| 12. Is it Eligible? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                                                                |  | 22. Present Use<br>Apartments                                                             |  | 34. Wall Treatment<br>Brick                                                                                                               |                     |                     |
| 13. Part of Estab. Hist. Dist.? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                                                    |  | 23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/> |  | 35. Plan Shape rectangle                                                                                                                  |                     |                     |
| 14. District Potent'l? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                                                             |  | 24. Owner's Name & Address, if known                                                      |  | 36. Changes (Explain in #42) Addition <input type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/> |                     |                     |
| 15. Name of Established District                                                                                                                                                                                                                                                                                                                                                       |  | 25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>   |  | 37. Condition Interior _____ Exterior fair                                                                                                |                     |                     |
| 15. Name of Established District                                                                                                                                                                                                                                                                                                                                                       |  | 26. Local Contact Person or Organization<br>Hamilton Planning Dept.                       |  | 38. Preservation Underway? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                            |                     |                     |
| 15. Name of Established District                                                                                                                                                                                                                                                                                                                                                       |  | 27. Other Surveys in Which Included                                                       |  | 39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>                                              |                     |                     |
| 15. Name of Established District                                                                                                                                                                                                                                                                                                                                                       |  | 27. Other Surveys in Which Included                                                       |  | 40. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>                                         |                     |                     |
| 15. Name of Established District                                                                                                                                                                                                                                                                                                                                                       |  | 27. Other Surveys in Which Included                                                       |  | 41. Distance from and Frontage on Road<br>15'                                                                                             |                     |                     |
| 42. Further Description of Important Features<br>The most distinctive feature is the quoins, made of a darker brick, which define the edge of the building and the slightly recessed central bay. Each bay is composed of three windows, each 1/1 with plain stone lintels and sills. Massive dentilated cornice. The two story front porch is slightly altered and partially missing. |  |                                                                                           |  |                                                      |                     |                     |
| 43. History and Significance<br>The buildings close relationship to a manufacturing area indicates that its residents were probably engaged in such occupations. The 1919-20 Directory lists the Hemdil Flats.                                                                                                                                                                         |  |                                                                                           |  | 5. Other Name(s)<br>The Hemdil Flats                                                                                                      |                     |                     |
| 44. Description of Environment and Outbuildings<br>Located in a mixed use area of manufacturing, commercial, and residential uses.                                                                                                                                                                                                                                                     |  |                                                                                           |  |                                                                                                                                           |                     |                     |
| 45. Sources of Information<br>1919-20 Williams Hamilton Directory<br>P.O.                                                                                                                                                                                                                                                                                                              |  | 46. Prepared by<br>J. Strasser                                                            |  |                                                                                                                                           |                     |                     |
|                                                                                                                                                                                                                                                                                                                                                                                        |  | 47. Organization<br>MPA                                                                   |  |                                                                                                                                           |                     |                     |
|                                                                                                                                                                                                                                                                                                                                                                                        |  | 48. Date<br>9-83                                                                          |  | 49. Revision Date(s)                                                                                                                      |                     |                     |

